

THE COTTAGES AT RANGER STATION

A PORTION OF NE 1/4, SW 1/4 SECTION 10, TOWNSHIP 23 N., RANGE 8 E., W.M.
CITY OF NORTH BEND, KING COUNTY, WASHINGTON

DEDICATION

KNOW ALL PEOPLE BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF INTEREST IN THE LAND HEREBY SUBDIVIDED, HEREBY DECLARE THIS PLAT TO BE THE GRAPHIC REPRESENTATION OF THE SUBDIVISION MADE HEREBY, AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS AND AVENUES NOT SHOWN AS PRIVATE HEREOF AND DEDICATE THE USE THEREOF FOR ALL PUBLIC PURPOSES NOT INCONSISTENT WITH THE USE THEREOF FOR PUBLIC HIGHWAY PURPOSES, AND ALSO THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS UPON THE LOTS SHOWN THEREON IN THE ORIGINAL REASONABLE GRADING OF SAID STREETS AND AVENUES, AND FURTHER DEDICATE TO THE USE OF THE PUBLIC ALL THE EASEMENTS AND TRACTS SHOWN ON THIS PLAT FOR ALL PUBLIC PURPOSES AS INDICATED THEREON, INCLUDING BUT NOT LIMITED TO PARKS, OPEN SPACE, UTILITIES AND DRAINAGE UNLESS SUCH EASEMENTS OR TRACTS ARE SPECIFICALLY IDENTIFIED ON THIS PLAT AS BEING DEDICATED OR CONVEYED TO A PERSON OR ENTITY OTHER THAN THE PUBLIC, IN WHICH CASE WE DO HEREBY DEDICATE SUCH STREETS, EASEMENTS, OR TRACTS TO THE PERSON OR ENTITY IDENTIFIED AND FOR THE PURPOSE STATED.

FURTHER, THE UNDERSIGNED OWNERS OF THE LAND HEREBY SUBDIVIDED, WAIVE FOR THEMSELVES, THEIR HEIRS AND ASSIGNS AND ANY PERSON OR ENTITY DERIVING TITLE FROM THE UNDERSIGNED, ANY AND ALL CLAIMS FOR DAMAGES AGAINST THE CITY OF NORTH BEND, ITS SUCCESSORS AND ASSIGNS WHICH MAY BE OCCASIONED BY THE ESTABLISHMENT, CONSTRUCTION, OR MAINTENANCE OF ROADS AND/OR DRAINAGE SYSTEMS WITHIN THIS SUBDIVISION OTHER THAN CLAIMS RESULTING FROM INADEQUATE MAINTENANCE BY THE CITY OF NORTH BEND.

FURTHER, THE UNDERSIGNED OWNERS OF THE LAND HEREBY SUBDIVIDED, AGREE FOR THEMSELVES, THEIR HEIRS AND ASSIGNS TO INDEMNIFY AND HOLD THE CITY OF NORTH BEND, ITS SUCCESSORS AND ASSIGNS, HARMLESS FROM ANY DAMAGE, INCLUDING ANY COSTS OF DEFENSE, CLAIMED BY PERSONS WITHIN OR WITHOUT THIS SUBDIVISION TO HAVE BEEN CAUSED BY ALTERATIONS OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUBSURFACE WATER FLOWS WITHIN THIS SUBDIVISION OR BY ESTABLISHMENT, CONSTRUCTION OR MAINTENANCE OF THE ROADS WITHIN THIS SUBDIVISION. PROVIDED, THIS WAIVER AND INDEMNIFICATION SHALL NOT BE CONSTRUED AS RELEASING THE CITY OF NORTH BEND, ITS SUCCESSORS OR ASSIGNS, FROM LIABILITY FOR DAMAGES, INCLUDING THE COST OF DEFENSE, RESULTING IN WHOLE OR IN PART FROM THE NEGLIGENCE OF THE CITY OF NORTH BEND, ITS SUCCESSORS OR ASSIGNS.

THIS SUBDIVISION, DEDICATION, WAIVER OF CLAIMS AND AGREEMENT TO HOLD HARMLESS IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF SAID OWNERS

IN WITNESS WHEREOF WE SET OUR HANDS AND SEALS.

COJ HOLDINGS, LLC, A WASHINGTON LIMITED LIABILITY COMPANY

ACKNOWLEDGMENTS

STATE OF WASHINGTON)
) SS
COUNTY OF KING)

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT JOHN R. DAY SIGNED THIS INSTRUMENT, ON OATH STATED THAT HE WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE PRESIDENT OF COJ HOLDINGS, LLC, TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE
STATE OF WASHINGTON, RESIDING AT _____
MY APPOINTMENT EXPIRES _____
PRINT NAME _____

CITY OF NORTH BEND APPROVALS

EXAMINED AND APPROVED THIS _____ DAY OF _____, 20____.

CED DIRECTOR

EXAMINED AND APPROVED THIS _____ DAY OF _____, 20____.

PUBLIC WORKS DIRECTOR/CITY ENGINEER

I HEREBY CERTIFY THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION AND THAT ALL SPECIAL ASSESSMENTS ON ANY OF THE PROPERTY HEREIN CONTAINED, DEDICATED AS STREETS, ALLEYS OR FOR ANY OTHER PUBLIC USE, ARE PAID IN FULL.

DATED THIS _____ DAY OF _____, 20____.

FINANCE DIRECTOR

KING COUNTY ASSESSOR

ACCOUNT NO. 102308-9009 & 102308-9059
EXAMINED AND APPROVED BY THE KING COUNTY DEPARTMENT OF ASSESSMENTS THIS _____ DAY OF _____, 20____.

KING COUNTY ASSESSOR

DATE

DEPUTY ASSESSOR

DATE

KING COUNTY FINANCE DIVISION CERTIFICATE

I HEREBY CERTIFY THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION AND THAT ALL SPECIAL ASSESSMENTS ON ANY OF THE PROPERTY HEREIN CONTAINED, DEDICATED AS STREETS, ALLEYS OR FOR ANY OTHER PUBLIC USE, ARE PAID IN FULL.

DATED THIS _____ DAY OF _____, 20____.

MANAGER,
KING COUNTY OFFICE OF FINANCE

DATE

DEPUTY

DATE

COVENANTS

ALL LOTS AND TRACTS WITHIN THIS PLAT ARE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS OF THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION AGREEMENT RECORDED UNDER RECORDING NUMBER _____ RECORDS OF KING COUNTY, WASHINGTON

LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAT OF THE COTTAGES AT RANGER STATION IS BASED UPON AN ACTUAL SURVEY AND SUBDIVISION OF SECTION 10, TOWNSHIP 23 NORTH, RANGE 8 EAST, W.M., AS REQUIRED BY STATE STATUTES; THAT THE DISTANCES, COURSES AND ANGLES ARE SHOWN THEREON CORRECTLY; THAT THE MONUMENTS WILL BE SET AND THE LOT AND BLOCK CORNERS SHALL BE STAKED CORRECTLY ON THE GROUND; THAT I FULLY COMPLIED WITH THE PROVISIONS OF THE STATE AND LOCAL STATUTES AND REGULATIONS GOVERNING PLATTING.



DAVID B. MATTHEWS, PLS
CERTIFICATE NO. 36804
BEYLER CONSULTING, INC.
455 RAINIER BLVD. N.
ISSAQUAH, WA 98027
PHONE: (425) 392-8055

RECORDER'S CERTIFICATE

FILED FOR RECORD AT THE REQUEST OF THE BEYLER CONSULTING, INC. THIS _____ DAY OF _____, 20____, AT _____ MINUTES PAST _____ A.M. AND RECORDED IN VOLUME _____ OF PLATS, PAGE(S) _____; AFN _____
RECORDS OF KING COUNTY, WASHINGTON.

DIVISION OF RECORDS AND ELECTIONS

MANAGER

SUPERINTENDENT OF RECORDS



Plan. Design. Manage

CEILING STRUCTURAL ENGINEERING | LAND SUPERVISION | PLANNING
PROJECT MANAGEMENT | FEASIBILITY | PERMIT EXPEDITING

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VOL/PG

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CITY OF NORTH BEND, KING COUNTY, WASHINGTON

LEGAL DESCRIPTION

THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, SECTION 10, TOWNSHIP 23 NORTH, RANGE 8 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
BEGINNING ON THE NORTH LINE OF SAID SUBDIVISION 25 FEET EAST OF THE NORTHWEST CORNER THEREOF;
THENCE SOUTH, ALONG THE EAST LINE OF THE WEST 25 FEET OF SAID SUBDIVISION, 412.55 FEET, MORE OR LESS, TO THE NORTHERLY CORNER OF A TRACT CONVEYED TO THE UNITED STATES OF AMERICA BY DEED RECORDED UNDER RECORDING NO. 3336019;
THENCE SOUTH 55° 15' EAST, ALONG THE NORTHEASTERLY LINE OF SAID TRACT, 120 FEET TO THE TRUE POINT OF BEGINNING;
THENCE CONTINUING SOUTH 55° 15' EAST, 866.71 FEET;
THENCE NORTH 34° 43' EAST, 350 FEET, MORE OR LESS, TO THE SOUTHWESTERLY LINE OF THE CHICAGO MILWAUKEE AND ST. PAUL RAILROAD RIGHT-OF-WAY;
THENCE NORTHWESTERLY, ALONG SAID SOUTHWESTERLY LINE, TO THE SOUTH LINE OF THE NORTH 165 FEET OF SAID SUBDIVISION;
THENCE WESTERLY, ALONG SAID SOUTH LINE, TO THE EAST LINE OF SAID WEST 25 FEET THEREOF;
THENCE SOUTHERLY, ALONG SAID EAST LINE, 177.5 FEET, MORE OR LESS, TO THE NORTHWESTERLY CORNER OF A TRACT DESCRIBED IN CONTRACT TO LEROY BERGSTROM, RECORDED UNDER KING COUNTY RECORDING NO. 7810310468;
THENCE SOUTHEASTERLY, 120 FEET TO A POINT 100 FEET NORTHERLY OF THE TRUE POINT OF BEGINNING;
THENCE SOUTHERLY, 100 FEET TO THE TRUE POINT OF BEGINNING.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON

RESTRICTIONS OF RECORD

PER OLD REPUBLIC TITLE, LTD. PLAT CERTIFICATE, ORDER NO. 5207134323, DATED JANUARY 15, 2016:

- RIGHTS OF PARTIES IN POSSESSION AND CLAIMS THAT MAY BE ASSERTED UNDER UNRECORDED INSTRUMENTS, IF ANY.
- AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES AS PROVIDED IN THE FOLLOWING GRANTED TO: PUGET SOUND POWER AND LIGHT COMPANY FOR ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES RECORDING NUMBER: 2993982 AFFECTS: EASTERLY PORTION OF SAID PREMISES
- MATTERS AS CONTAINED OR REFERRED TO IN AN INSTRUMENT, ENTITLED: SURVEY RECORDING NUMBER: 0810259002 AFFECTS: THE WESTERLY PROPERTY LINE
- MATTERS AS CONTAINED OR REFERRED TO IN AN INSTRUMENT, ENTITLED: SURVEY RECORDING NUMBER: 9008069015 WHICH AMONG OTHER THINGS, SAID SURVEY DELINEATES AN ENCRDACHMENT OF A WIRE FENCE ALONG THE SOUTHEASTERLY BOUNDARY LINE.
- MATTERS AS CONTAINED OR REFERRED TO IN AN INSTRUMENT, ENTITLED: SURVEY RECORDING NUMBER: 2000112890001 WHICH AMONG OTHER THINGS, SAID SURVEY DELINEATES A WIRE FENCE ALONG THE SOUTHWESTERLY BOUNDARY LINE.
- AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES AS PROVIDED IN THE FOLLOWING INSTRUMENT: EASEMENT GRANTED TO: PUGET SOUND ENERGY, INC., A WASHINGTON CORPORATION FOR THE RIGHT TO USE THE EASEMENT AREA TO CONSTRUCT, OPERATE, MAINTAIN, REPAIR, REPLACE, IMPROVE, REMOVE AND ENLARGE ONE OR MORE UTILITY SYSTEMS FOR PURPOSES OF TRANSMISSION, DISTRIBUTION AND SALE OF ELECTRICITY. GRANTEE SHALL HAVE THE RIGHT TO CUT, REMOVE AND DISPOSE OF ANY AND ALL BRUSH, TREES OR OTHER VEGETATION IN THE EASEMENT AREA. GRANTEE SHALL ALSO HAVE THE RIGHT TO CONTROL, ON A CONTINUING BASIS AND BY ANY PRUDENT AND REASONABLE MEANS, THE ESTABLISHMENT AND GROWTH OF BRUSH, TREES OR OTHER VEGETATION IN THE EASEMENT AREA. RECORDING NUMBER: 2009101300017 AFFECTS: THE NORTHERLY 2 FEET OF SAID PREMISES
- TERMS AND PROVISIONS AS CONTAINED IN AN INSTRUMENT, ENTITLED: RECORD OF SURVEY RECORDING NUMBER: 2010170990003
- 2016 TAXES, A LIEN, NOT YET DUE AND PAYABLE. TAX ACCOUNT NO. 102308-9009-05 AFFECTS A PORTION OF SAID PREMISES
- 2016 TAXES, A LIEN, NOT YET DUE AND PAYABLE. TAX ACCOUNT NO. 102308-9059-04 AFFECTS THE REMAINDER OF SAID PREMISES
- INSTALLMENT ASSESSMENT LEVIED BY: NORTH BEND FOR: SEWER LID NO. 6 AFFECTS A PORTION OF SAID PREMISES
- GENERAL TAXES, PLUS INTEREST AND PENALTY AFTER DELINQUENT; 1ST HALF DELINQUENT ON MAY 1; 2ND HALF DELINQUENT ON NOVEMBER 1; YEAR: 2015 TAX ACCOUNT NO. 102308-9009-05 AFFECTS A PORTION OF SAID PREMISES
- GENERAL TAXES, PLUS INTEREST AND PENALTY AFTER DELINQUENT; 1ST HALF DELINQUENT ON MAY 1; 2ND HALF DELINQUENT ON NOVEMBER 1; YEAR: 2015 TAX ACCOUNT NO. 102308-9059-04 AFFECTS THE REMAINDER OF SAID PREMISES

UTILITY EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND CONVEYED TO THE CITY OF NORTH BEND, PUGET SOUND ENERGY, INC. AND AT&T CABLE COMPANY AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS UNDER AND UPON THE PRIVATE STREETS(S), IF ANY; AND THE EXTERIOR TEN (10) FEET OF LOTS 1 THROUGH 31, AND TRACTS A, B, G AND X AND SPACES WITHIN THE PLAT Lying PARALLEL WITH AND ADJOINING ALL STREET(S); IN WHICH TO CONSTRUCT, OPERATE, MAINTAIN, REPAIR, REPLACE AND ENLARGE UNDERGROUND PIPES, CONDUITS, CABLES AND WIRES WITH ALL NECESSARY OR CONVENIENT UNDERGROUND OR GROUND-MOUNTED APPURTENANCES THERETO FOR THE PURPOSE OF SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC, GAS, TELEPHONE, TELEVISION AND OTHER UTILITY SERVICE, TOGETHER WITH THE RIGHT TO ENTER UPON THE STREETS, LOTS, TRACTS AND SPACES AT ALL TIMES FOR THE PURPOSES HEREIN STATED.

GENERAL NOTES

- INSTRUMENTATION FOR THIS SURVEY WAS A 1 SECOND THEODOLITE AND AN ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE FIELD TRAVERSE, MEETING OR EXCEEDING STANDARDS SET BY WAC 332-130-090.
- LOTS AND STRUCTURES LOCATED WITHIN FLOOD HAZARD AREAS MAY BE INACCESSIBLE TO EMERGENCY VEHICLES DURING FLOOD EVENTS. RESIDENTS AND PROPERTY OWNERS SHOULD TAKE APPROPRIATE ADVANCE PRECAUTIONS TO PROVIDE ACCESS. PLEASE CONTACT THE CITY OF NORTH BEND FOR REGULATIONS PERTAINING TO DEVELOPMENT WITHIN FLOOD HAZARD AREAS.
- ALL STORMWATER TREATMENT, INFILTRATION, AND DETENTION FACILITIES SHALL REMAIN THE PROPERTY OF THE HOMEOWNERS ASSOCIATION AND MAINTENANCE OF SAID FACILITIES SHALL BE THE RESPONSIBILITY OF THE HOA. THE DRAINAGE FACILITIES OTHER THAN ROOF DRAINS IN THE STREET RIGHTS-OF-WAY SHALL BE OWNED AND MAINTAINED BY THE CITY. MAINTENANCE OF ROOF DRAINS SHALL REMAIN THE RESPONSIBILITY OF THE OWNER OF THE BENEFITTING HOUSE(S).
- ALL DEVELOPMENT SHALL MEET THE NORTH BEND PERFORMANCE STANDARDS SET FORTH IN NBMC 18.10.050, SECTION 1.6, IN EFFECT AS OF THE DATE OF THIS APPROVAL.
- OPEN SPACE/DRAINAGE TRACT A IS CONVEYED IN THE DEDICATION ON SHEET 1 TO THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION. THIS TRACT WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- OPEN SPACE/DRAINAGE TRACT B IS CONVEYED IN THE DEDICATION ON SHEET 1 TO THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION. THIS TRACT WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- OPEN SPACE/DRAINAGE TRACT C IS CONVEYED IN THE DEDICATION ON SHEET 1 TO THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION. THIS TRACT WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- OPEN SPACE/DRAINAGE TRACT D IS CONVEYED IN THE DEDICATION ON SHEET 1 TO THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION. THIS TRACT WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- PUBLIC OPEN SPACE/DRAINAGE TRACT X IS CONVEYED IN THE DEDICATION ON SHEET 1 TO THE CITY OF NORTH BEND. THIS TRACT WILL BE MAINTAINED BY THE CITY OF NORTH BEND.
- OPEN SPACE/DRAINAGE TRACT Y IS CONVEYED IN THE DEDICATION ON SHEET 1 TO THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION. THIS TRACT WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- ALLEY TRACT E IS CONVEYED IN THE DEDICATION ON SHEET 1 TO THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION. THIS TRACT WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- ALLEY TRACT F IS CONVEYED IN THE DEDICATION ON SHEET 1 TO THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION. THIS TRACT WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- ALLEY TRACT G IS CONVEYED IN THE DEDICATION ON SHEET 1 TO THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION. THIS TRACT WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- TRACT H IS OWNED AND MAINTAINED BY JOHN DAY HOMES, INC.
- FRONT YARDS - THE BUILDING LOT SHALL BE BLADED PRIOR TO PLANTING TO REMOVE ROCKS AND DEBRIS. AT A MINIMUM, THE FRONT YARD OF ALL NEW LOTS AND ANY SIDE YARD ABUTTING A STREET SHALL BE SODED OR SEED WITH GRASS OR OTHERWISE LANDSCAPED AND SHALL INCLUDE A MINIMUM OF ONE DECIDUOUS TREE.
- PURSUANT TO NBMC 19.06.110 (C), ENERGY USE FOR ALL STREET LIGHTING INTERNAL TO THE SUBDIVISION SHALL BE PAID FOR BY THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION.
- THIS PROPERTY IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN AS MAPPED ON APRIL 19, 2005 FLOOD INSURANCE RATE MAP. A FLOODPLAIN DEVELOPMENT PERMIT FROM THE CITY OF NORTH BEND IS REQUIRED FOR ANY STRUCTURES CONSTRUCTED WITHIN THE FLOODPLAIN, DEMONSTRATING CONFORMANCE TO ALL APPLICABLE FLOODPLAIN DEVELOPMENT REGULATIONS.
- THE LANDSCAPING WITHIN THE CUL-DE-SAC ISLAND ON NE 2ND STREET SHALL BE MAINTAINED BY THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION.
- SINGLE FAMILY RESIDENCES AND OTHER IMPROVEMENTS CONSTRUCTED ON THE LOTS CREATED BY THIS SUBDIVISION MUST IMPLEMENT THE FLOW CONTROL BEST MANAGEMENT PRACTICES (BMPs) STIPULATED IN THE DRAINAGE PLAN DECLARATION OF COVENANT AND GRANT OF EASEMENT RECORDED FOR EACH LOT. COMPLIANCE WITH THIS STIPULATION MUST BE ADDRESSED IN THE SMALL PROJECT DRAINAGE PLAN SUBMITTED FOR DRAINAGE REVIEW WHEN APPLICATION IS MADE FOR A SINGLE FAMILY RESIDENTIAL BUILDING PERMIT FOR THE LOT.

WATER AND SANITARY SEWER EASEMENT PROVISION

AN EASEMENT IS HEREBY DEDICATED AND CONVEYED, UPON THE RECORDING OF THIS PLAT, TO THE CITY OF NORTH BEND, OVER, UNDER, ACROSS AND UPON THE AREAS DESIGNATED HEREON AS "PUBLIC SANITARY SEWER EASEMENT" OR "PUBLIC WATER EASEMENT", IN WHICH TO INSTALL, LAY, CONSTRUCT, MAINTAIN, INSPECT, REPLACE, REPAIR, REMOVE, RENEW, USE AND OPERATE WATER AND SANITARY SEWER SYSTEMS AND APPURTENANCES FOR THIS SUBDIVISION AND OTHER PROPERTY, TOGETHER WITH THE RIGHT TO ENTER UPON THE EASEMENTS AT ALL TIMES WITH ALL NECESSARY MAINTENANCE AND CONSTRUCTION EQUIPMENT FOR THE PURPOSES STATED. THE GRANTEE COVENANTS THAT NO STRUCTURES SHALL BE CONSTRUCTED OR ERRECTED OVER, UPON OR WITHIN THESE EASEMENTS, INCLUDING FENCES OR ROCKERIES, AND NO TREES, BUSHES OR OTHER SHRUBBERY SHALL BE PLANTED IN THE AREA OF GROUND FOR WHICH THE EASEMENT IN FAVOR OF THE CITY OF NORTH BEND HAS BEEN APPROVED.

PRIVATE EASEMENT PROVISION

THE OWNER(S) OF LAND HEREBY SUBDIVIDED DO HEREBY GRANT AND CONVEY TO THE OWNER(S) OF LOTS BENEFITED AS STATED IN THE EASEMENT NOTES OR ANY OTHER PRIVATE EASEMENT SHOWN AND THEIR ASSIGNS A PERPETUAL EASEMENT FOR THE STATED UTILITIES. THESE EASEMENTS AND CONDITIONS SHALL BE A COVENANT RUNNING WITH THE LAND AND SHALL BE BINDING ON THE SUCCESSOR(S), HEIRS AND ASSIGNS OF THE OWNER(S) OF LAND HEREBY BENEFITED. THE OWNER(S) OF LOT BENEFITED AND ITS ASSIGNS SHALL HAVE THE RIGHT, WITHOUT PRIOR INSTITUTION OF ANY SUIT OR PROCEEDINGS OF LAW AT SUCH TIME AS MAY BE NECESSARY TO ENTER UPON SAID EASEMENT FOR THE PURPOSE OF CONSTRUCTING, MAINTAINING, REPAIRING, ALTERING OR RECONSTRUCTING SAID UTILITIES OR MAKING ANY CONNECTIONS THERETO WITHOUT INCURRING ANY LEGAL OBLIGATION OR LIABILITY THEREFOR; PROVIDED THAT SUCH SHALL BE ACCOMPLISHED IN A MANNER THAT IF EXISTING PRIVATE IMPROVEMENTS ARE DISTURBED OR DESTROYED THEY WILL BE REPAIRED OR REPLACED TO A CONDITION SIMILAR AS THEY WERE IMMEDIATELY BEFORE THE PROPERTY WAS ENTERED UPON BY THE ONE BENEFITED. THE OWNER(S) OF THE BURDENED LOT SHALL RETAIN THE RIGHT TO USE THE SURFACE OF SAID EASEMENT IF SUCH USE DOES NOT INTERFERE WITH THE INSTALLATION OR USE OF SAID UTILITIES. HOWEVER, THE OWNER(S) OF THE BURDENED LOT SHALL NOT ERECT OR MAINTAIN ANY BUILDINGS OR STRUCTURES WITHIN THE EASEMENT. ALSO THE OWNER(S) OF THE BURDENED LOT SHALL NOT PLANT TREES, SHRUBS OR VEGETATION HAVING DEEP ROOT PATTERNS WHICH MAY CAUSE DAMAGE TO OR INTERFERE WITH SAID UTILITIES. ALSO THE OWNER(S) OF THE BURDENED LOT SHALL NOT DEVELOP OR BEAUTIFY THE EASEMENT AREAS IN SUCH A WAY TO CAUSE EXCESSIVE COST TO THE OWNER(S) OF LOT BENEFITED PURSUANT TO ITS RESTORATION DUTIES HEREIN.



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PROJECT MANAGEMENT | TRAFFIC STUDIES | PRELIMINARY ENGINEERING

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VOL/PG

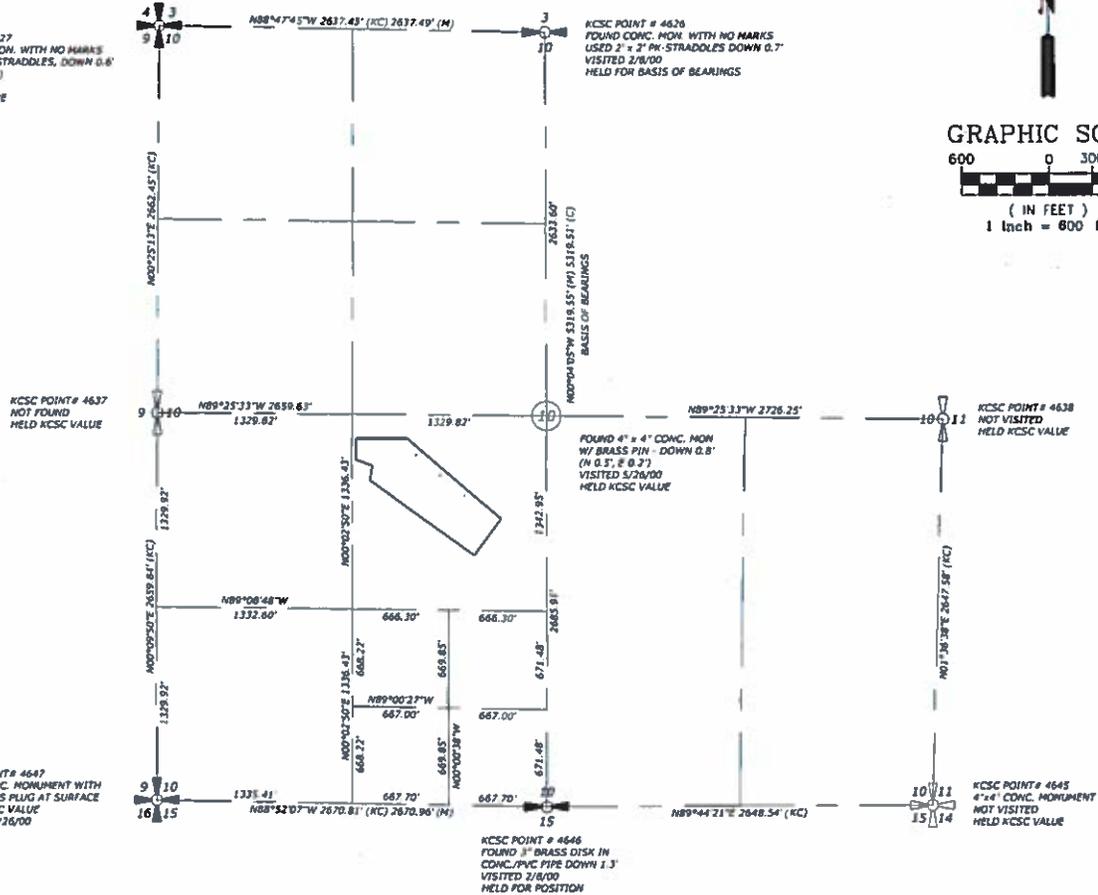
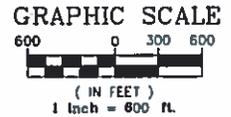
THE COTTAGES AT RANGER STATION

VOL/PG

A PORTION OF NE 1/4, SW 1/4 SECTION 10, TOWNSHIP 23 N., RANGE 8 E., W.M.
CITY OF NORTH BEND, KING COUNTY, WASHINGTON

KCSC POINT # 4637
FOUND STONE MON. WITH NO MARKS
USED 2" x 2" PK. STRADDLES, DOWN 0.6"
(N 0.15°, W 0.06°)
VISITED 2/8/00
HELD KCSC VALUE

KCSC POINT # 4638
FOUND CONC. MON. WITH NO MARKS
USED 2" x 2" PK. STRADDLES DOWN 0.7"
VISITED 2/8/00
HELD FOR BASIS OF BEARINGS



MERIDIAN

WASHINGTON COORDINATE SYSTEM
NAD 83/91 - NORTH ZONE

BASIS OF BEARING

N00°04'05\"/>

REFERENCES

1. RECORD OF SURVEY, VOL. 141, PAGES 216-2168
2. RECORD OF SURVEY, VOL. 63, PAGE 111
3. RECORD OF SURVEY, VOL. 38, PAGE 66

NOTES

1. INSTRUMENTATION FOR THIS SURVEY WAS A 1 SECOND THEODOLITE AND AN ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE FIELD TRAVERSE, MEETING OR EXCEEDING STANDARDS SET BY WAC 332-130-090.
2. THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN MAY, 2005 AND UPDATED IN APRIL, 2013, AND SHOWS THE GENERAL CONDITION EXISTING AT THAT TIME.
3. SECTION SUBDIVISION PER RECORD OF SURVEY, VOL. 141, PGS. 216-2168



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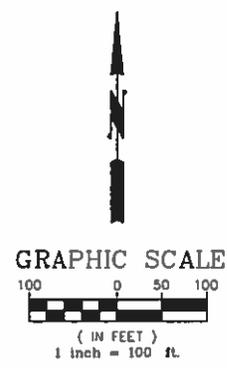
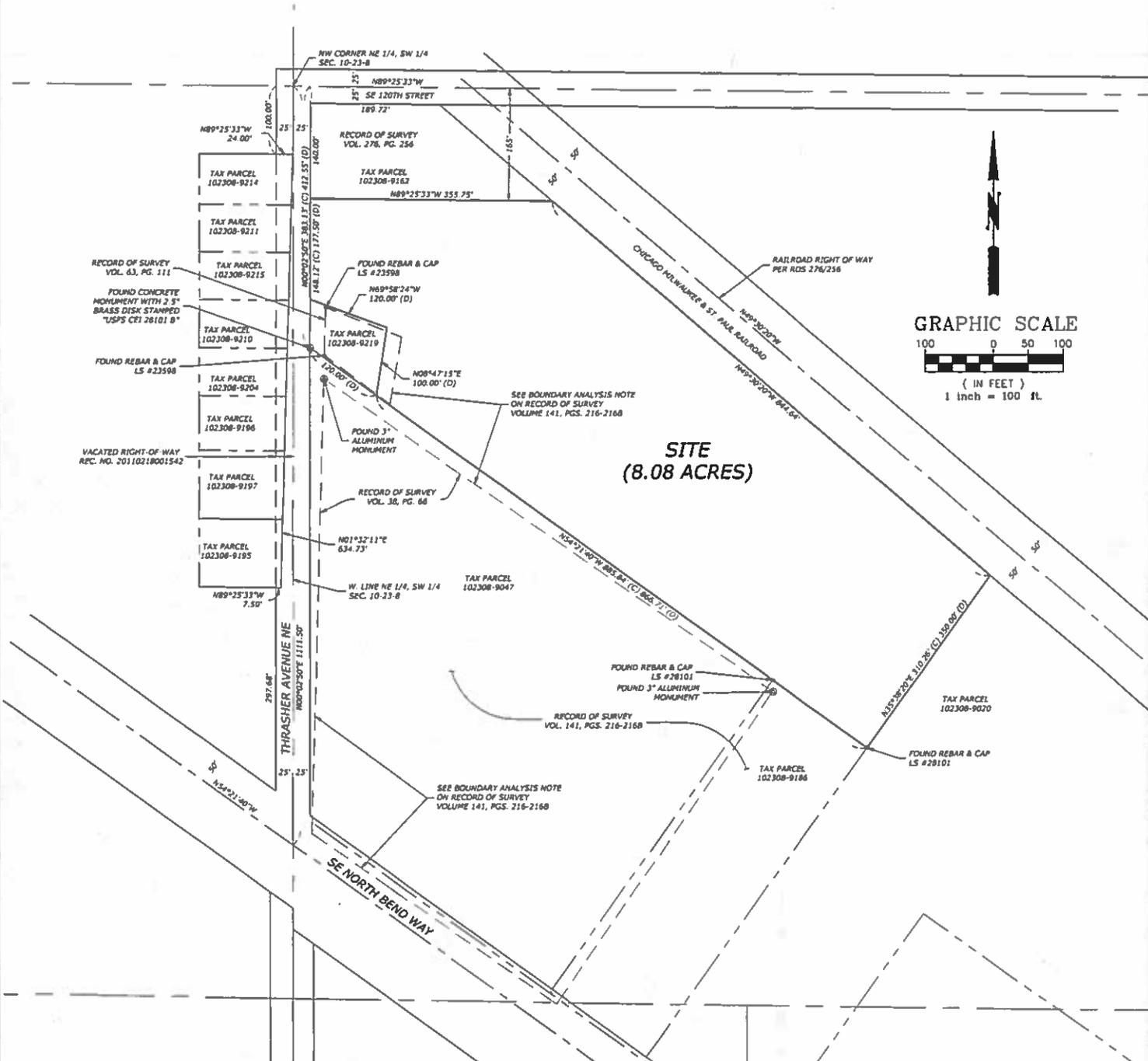
JOB NO. 32103/15-029 SHEET 4 OF 9

VOL/PG

THE COTTAGES AT RANGER STATION

VOL/Pg

A PORTION OF NE 1/4, SW 1/4 SECTION 10, TOWNSHIP 23 N., RANGE 8 E., W.M.
CITY OF NORTH BEND, KING COUNTY, WASHINGTON



SITE
(8.08 ACRES)



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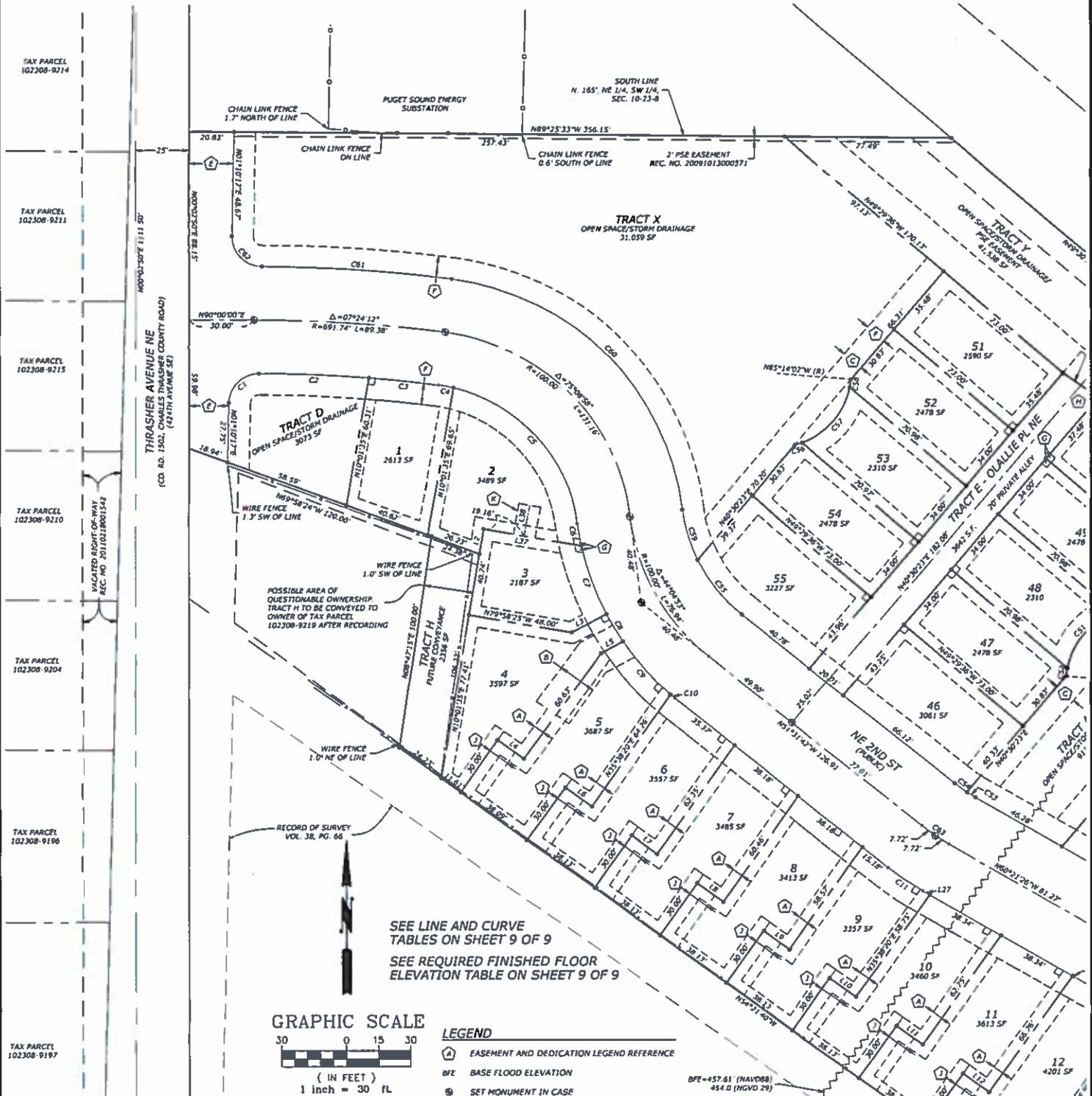
JOB NO. 32103/15-029 **SHEET 5 OF 9**

VOL/Pg

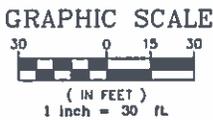
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CITY OF NORTH BEND, KING COUNTY, WASHINGTON



SEE LINE AND CURVE TABLES ON SHEET 9 OF 9
SEE REQUIRED FINISHED FLOOR ELEVATION TABLE ON SHEET 9 OF 9



LEGEND

- (A) EASEMENT AND DEDICATION LEGEND REFERENCE
- BFE BASE FLOOD ELEVATION
- ⊙ SET MONUMENT IN CASE
- SET REBAR & CAP

EASEMENT AND DEDICATION LEGEND

- A. 5' PRIVATE INGRESS, EGRESS AND STORM DRAINAGE EASEMENT FOR THE BENEFIT OF ADJOINING LOT (TYPICAL).
- B. 16' PRIVATE INGRESS AND EGRESS EASEMENT FOR THE BENEFIT OF LOT 4 AND LOT 5.
- C. 10' PRIVATE STORM DRAINAGE EASEMENT.
- D. 20' PRIVATE INGRESS AND EGRESS EASEMENT FOR THE BENEFIT OF THE COTTAGES AT RANGER STATION HOMEOWNERS ASSOCIATION.
- E. RIGHT-OF-WAY DEDICATION TO CITY OF NORTH BEND.
- F. 10' DRY UTILITIES EASEMENT (TYPICAL).
- G. 3' X 3' PUBLIC WATER METER EASEMENT (TYPICAL).
- H. 5' X 5' PUBLIC WATER EASEMENT.
- I. 15' PUBLIC STORM DRAINAGE EASEMENT.
- J. 10' PRIVATE AREA USE EASEMENT FOR THE BENEFIT OF ADJOINING LOT (TYPICAL).
- K. 10-FOOT PRIVATE STORM DRAINAGE EASEMENT FOR THE BENEFIT OF LOT 3



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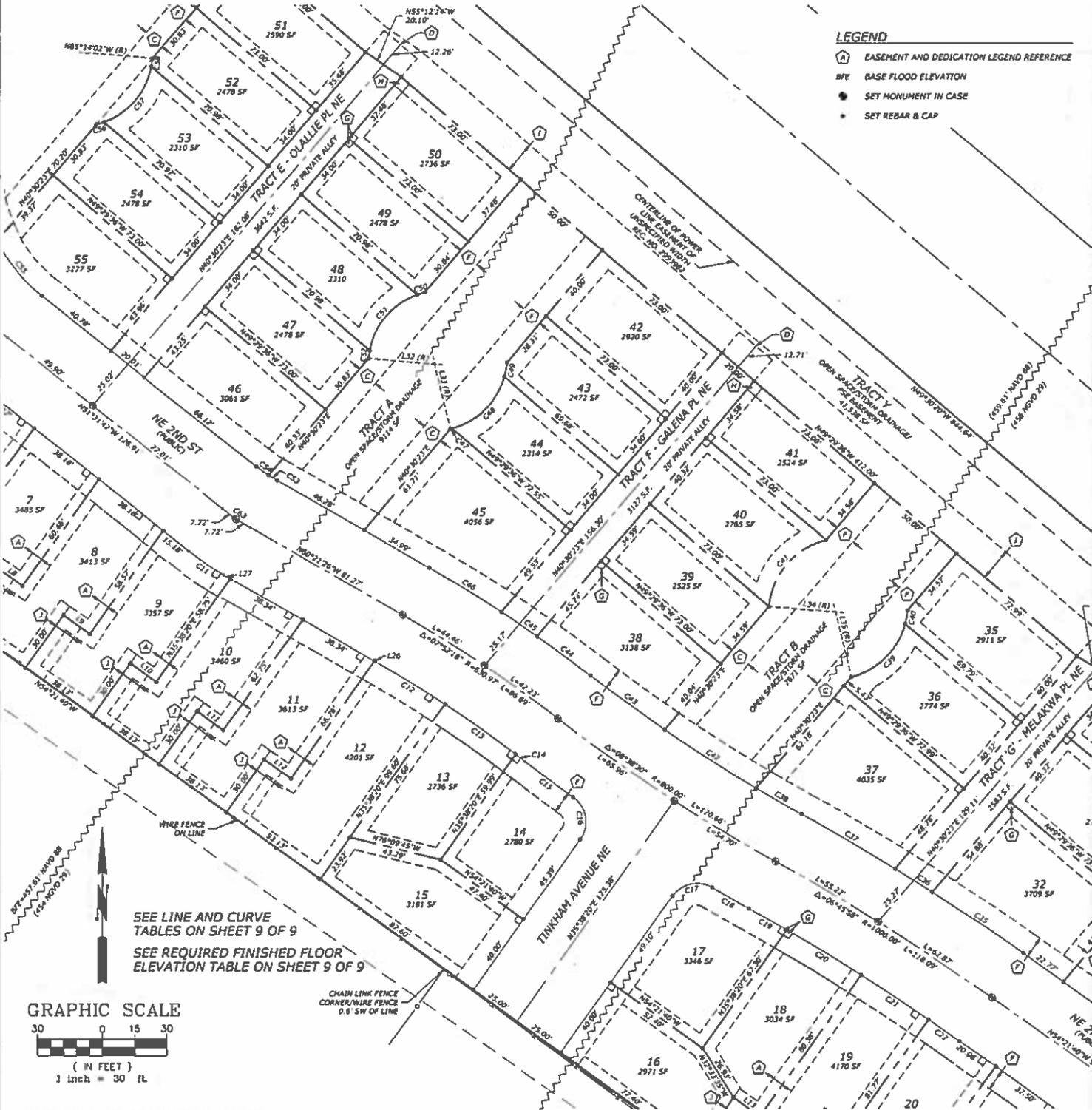
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THE COTTAGES AT RANGER STATION

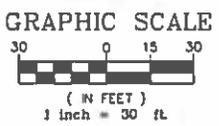
VOL/PG

A PORTION OF NE 1/4, SW 1/4 SECTION 10, TOWNSHIP 23 N., RANGE 8 E., W.M.
CITY OF NORTH BEND, KING COUNTY, WASHINGTON



- LEGEND**
- Ⓐ EASEMENT AND DEDICATION LEGEND REFERENCE
 - BFE BASE FLOOD ELEVATION
 - SET MONUMENT IN CASE
 - SET REBAR & CAP

SEE LINE AND CURVE TABLES ON SHEET 9 OF 9
SEE REQUIRED FINISHED FLOOR ELEVATION TABLE ON SHEET 9 OF 9



- EASEMENT AND DEDICATION LEGEND**
- A. 5' PRIVATE INGRESS, EGRESS AND STORM DRAINAGE EASEMENT FOR THE BENEFIT OF ADJOINING LOT (TYPICAL).
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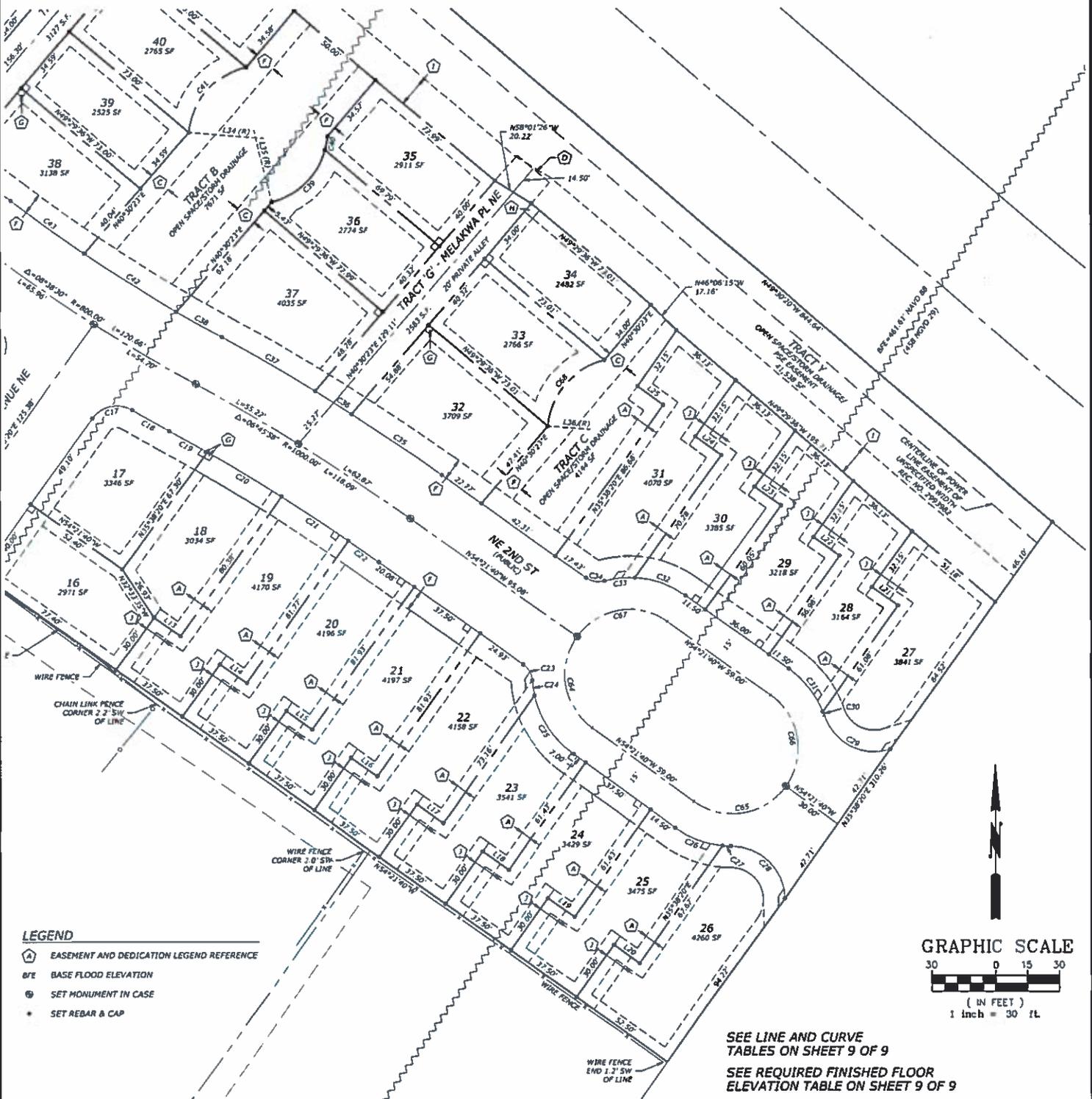
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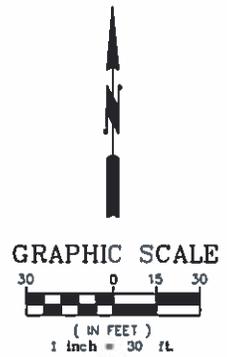


LEGEND

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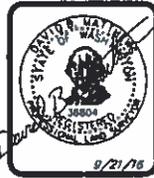
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SEE LINE AND CURVE TABLES ON SHEET 9 OF 9
SEE REQUIRED FINISHED FLOOR ELEVATION TABLE ON SHEET 9 OF 9

CITY OF NORTH BEND FILE NO. PLN 2014-0156



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JOB NO. 32103/15-029 SHEET 8 OF 9

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THE COTTAGES AT RANGER STATION

A PORTION OF NE 1/4, SW 1/4 SECTION 10, TOWNSHIP 23 N., RANGE 8 E., W.M.
CITY OF NORTH BEND, KING COUNTY, WASHINGTON

REQUIRED FINISHED FLOOR ELEVATION TABLE

LOT	HOUSE F.F.	GARAGE F.F.
1	458.70	455.45
2	458.80	455.70
3	458.90	456.10
4	458.95	455.80
5	459.10	454.90
6	459.20	455.30
7	459.25	455.50
8	459.35	455.70
9	459.45	455.90
10	459.55	456.10
11	460.05	456.25
12	460.30	456.45
13	460.65	456.10
14	461.00	456.60
15	461.00	459.15
16	461.90	459.15
17	461.90	459.55
18	462.10	460.15
19	462.35	458.60
20	462.55	459.90
21	463.60	459.20
22	463.35	459.50
23	463.55	459.75
24	463.80	460.45
25	464.20	460.70
26	464.40	461.00
27	464.40	461.25
28	464.15	460.80
29	464.00	460.45
30	463.60	460.10
31	463.30	459.75
32	463.65	459.85
33	462.65	459.35
34	462.65	459.40
35	462.70	459.40
36	462.70	459.65
37	462.70	459.85
38	461.00	457.70
39	461.00	457.95
40	461.00	458.25
41	461.00	458.50
42	460.30	458.50
43	460.30	458.25
44	460.30	457.95
45	460.30	457.50
46	459.50	456.40
47	459.50	456.55
48	459.50	456.75
49	459.50	456.90
50	459.50	457.05
51	459.20	457.05
52	459.20	456.90
53	459.20	456.75
54	459.20	456.55
55	459.20	456.40

LINE AND CURVE TABLES

LINE	BEARING	LENGTH
L1	(NOT USED)	
L2	N10°01'35"E	11.93'
L3	N62°05'02"E	18.40'
L4	N54°21'40"W	15.00'
L5	N62°05'02"E	11.25'
L6	N54°21'40"W	15.00'
L7	N54°21'40"W	15.00'
L8	N54°21'40"W	15.00'
L9	N54°21'40"W	15.00'
L10	N54°21'40"W	15.00'
L11	N54°21'40"W	15.00'
L12	N54°21'40"W	15.00'
L13	N54°21'40"W	15.00'
L14	N54°21'40"W	15.00'
L15	N54°21'40"W	15.00'
L16	N54°21'40"W	15.00'
L17	N54°21'40"W	15.00'
L18	N54°21'40"W	15.00'
L19	N54°21'40"W	15.00'
L20	N54°21'40"W	15.00'
L21	N54°21'40"W	15.00'
L22	N54°21'40"W	15.00'
L23	N54°21'40"W	15.00'
L24	N54°21'40"W	15.00'
L25	N54°21'40"W	15.00'
L26	N60°21'26"W	0.84'
L27	N60°21'26"W	3.75'
L28	(NOT USED)	
L29	(NOT USED)	
L30	(NOT USED)	
L31	(NOT USED)	
L32	N85°13'45"W	34.52'
L33	N13°45'16"W	34.52'
L34	N85°13'47"W	34.52'
L35	N13°45'16"W	34.52'
L36	N85°13'51"W	34.52'
L37	N79°58'25"W	45.44'
L38	N01°01'35"E	14.49'

CURVE	DELTA	RADIUS	LENGTH
C1	89°01'53"	14.00	21.75
C2	04°22'55"	666.74	50.99
C3	02°49'08"	666.74	32.80
C4	05°33'48"	75.00	7.28
C5	69°35'10"	75.00	51.09
C6	04°49'38"	125.00	10.53
C7	15°38'30"	125.00	34.12
C8	06°53'31"	125.00	18.04
C9	15°26'02"	125.00	33.67
C10	01°17'12"	125.00	2.81
C11	08°49'44"	125.00	19.26
C12	03°32'31"	605.97	37.40
C13	03°48'05"	605.97	40.20
C14	00°32'03"	605.97	5.63
C15	01°55'37"	825.00	27.75
C16	00°03'05"	14.00	22.00
C17	84°36'51"	14.00	20.68
C18	01°22'48"	825.00	19.87
C19	01°10'46"	825.00	20.07
C20	02°21'28"	975.00	40.12
C21	02°12'18"	975.00	37.53
C22	01°01'25"	975.00	17.42
C23	50°54'24"	10.00	8.88
C24	08°48'36"	45.50	7.00
C25	42°05'33"	45.50	33.43
C26	30°21'51"	45.50	24.11
C27	04°41'54"	45.50	3.73
C28	88°11'33"	25.00	38.48
C29	88°11'33"	25.00	38.48
C30	02°29'00"	45.50	1.97
C31	32°34'44"	45.50	33.87
C32	32°34'45"	45.50	25.87
C33	18°18'27"	45.50	14.55
C34	50°54'12"	10.00	8.88
C35	02°49'48"	1025.00	50.63
C36	01°07'47"	1025.00	20.21
C37	02°48'23"	1025.00	50.21
C38	01°48'30"	775.00	24.01
C39	01°00'00"	34.52	38.75
C40	10°28'34"	34.52	6.51
C41	71°28'00"	34.52	43.06
C42	03°44'00"	775.00	50.50
C43	03°08'00"	775.00	42.38
C44	02°41'40"	653.97	30.85
C45	01°45'30"	653.97	20.13
C46	03°42'50"	653.97	39.14
C47	01°18'13"	34.52	0.79
C48	59°13'58"	34.52	13.69
C49	10°56'33"	34.52	6.59
C50	06°13'35"	34.52	3.79
C51	59°00'10"	34.52	35.55
C52	06°14'13"	34.52	3.78
C53	03°31'11"	75.00	4.61
C54	05°18'31"	75.00	6.95
C55	28°16'04"	75.00	33.08
C56	58°14'28"	34.52	3.76
C57	59°00'10"	34.52	35.55
C58	08°14'13"	34.52	3.76
C59	18°48'49"	75.00	24.63
C60	75°08'58"	125.00	163.95
C61	02°05'51"	716.74	88.79
C62	90°31'56"	14.00	22.20
C63	08°49'42"	100.00	13.41
C64	90°00'00"	30.50	47.91
C65	90°00'00"	30.50	47.91
C66	90°00'00"	30.50	47.91
C67	90°00'00"	30.50	47.91
C68	71°28'28"	34.52	43.06

FLOOD HAZARD NOTE

BASE FLOOD ELEVATION LINES SHOWN ON SHEETS 6, 7 & 8 ARE FROM FLOOD INSURANCE RATE MAP PLAN 1057 OF 1725, MAP NUMBER S3033C10571, MAP REVISED ON APRIL 19, 2005.

SITE IS LOCATED IN FLOOD ZONE AE.

REQUIRED FINISHED FLOOR ELEVATIONS ARE REFERENCED TO NGVD 88 VERTICAL DATUM.



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