



CITY COUNCIL MEETING

December 6, 2016 – Agenda

Mt. Si Senior Center, 411 Main Ave. S., North Bend, Washington

7:00 P.M. – CALL TO ORDER, ROLL CALL, FLAG SALUTE

CONSENT AGENDA:

| | | | Pg.# |
|---------------------|--|-------------|-------------|
| 1) Minutes | Special Workstudies of October 25, 2016 & November 15, 2016 and Council Meeting of November 15, 2016 | | 1 |
| 2) Payroll | November 18, 2016 – 27551 through 27561 , in the amount of \$152,208.94 | | |
| 3) Checks | December 6, 2016 – 63580 through 63664 , in the amount of \$577,875.26 | | |
| 4) AB16-139 | Resolution - Designating 2017 Paper of Record | Ms. Oppedal | 13 |
| 5) AB16-140 | Motion - Authorizing Blanket Purchase Orders | Ms. Masko | 23 |
| 6) AB16-141 | Ordinance - Amending Taxes, Rates & Fees Schedule RE Solid Waste & Recycling Rates | Ms. Masko | 27 |
| 7) AB16-142 | Motion - Authorizing Payment to Republic for Demolition Debris Removal | Mr. Rigos | 37 |
| 8) AB16-143 | Motion - Authorizing Contract with WEST Consultants for Middle Fork LOMR Study | Mr. Rigos | 41 |
| 9) AB16-144 | Motion - Authorizing CO #2 with Sierra Pacific for Bendigo Right Turn Lane Project | Mr. Rigos | 69 |
| 10) AB16-145 | Motion - Authorizing Amendment to Valbridge Contract RE ULID 6 | Ms. Lindell | 79 |
| 11) AB16-146 | Ordinance - Amending 2015-2016 Budget Ordinance 1604 | Ms. Masko | 83 |

CITIZEN'S COMMENTS: (Please restrict comments to 3 minutes)

ANNOUNCEMENTS, PRESENTATIONS, APPOINTMENTS:

| | | | |
|---------------------|---------------------------------|--------------------------|-----------|
| 12) AB16-147 | Selection of 2017 Mayor Pro Tem | Mayor Pro Tem Loudenback | 91 |
|---------------------|---------------------------------|--------------------------|-----------|

FINAL READINGS:

| | | | |
|---------------------|---|-----------|-----------|
| 13) AB16-148 | Ordinance - Adopting 2017-2018 Biennial Budget & 2017 Salary Schedule | Ms. Masko | 93 |
|---------------------|---|-----------|-----------|

INTRODUCTIONS:

| | | | |
|---------------------|--|-------------|------------|
| 14) AB16-149 | Public Hearing, Ordinance 1602 Adopting Moratorium on Wireless Communications Facilities | Ms. Estep | 103 |
| 15) AB16-150 | Public Hearing, Ordinance 1603 Adopting Moratorium on Single Family Residences in Certain Zones | Ms. Estep | 111 |
| 16) AB16-151 | Ordinance - Amending NBMC 18.50 RE LID Demonstration Projects | Ms. Estep | 119 |
| 17) AB16-152 | Motion - Selecting City Hall Architect & Authorizing Contract | Ms. Lindell | 149 |

MAYOR, COUNCIL & ADMINISTRATOR CONCERNS AND INITIATIVES: (Business and general information presented that may be deliberated upon by the Council. Formal action may be deferred until a subsequent meeting; immediate action may be taken upon a vote of a majority of all members of the Council.)

ADJOURNMENT:

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| |
|--|
| <p>CITY OF NORTH BEND CITY COUNCIL SPECIAL WORKSTUDY NOTES October 25, 2016 – 7:00 p.m. Mt Si Senior Center, 411 Main Ave. S., North Bend, WA</p> |
|--|

CALL TO ORDER, ROLL CALL:

Mayor Pro Tem Loudenback called the meeting to order at 7:00 p.m.

Councilmembers Brenden Elwood, Alan Gothelf, Trevor Kostanich, Ross Loudenback, Jeanne Pettersen, and Jonathan Rosen were present. Councilmember Volken arrived at 7:03 p.m.

Staff Present: Mayor Ken Hearing, City Administrator Londi Lindell, Public Works Director Mark Rigos, Community & Economic Development Director Gina Estep and Records Coordinator Kym Smith.

City Hall Design Presentations / Brian Harris of TCA Architecture

City Administrator Ms. Lindell introduced Mr. Harris, Principal of TCA Architecture. Mr. Harris gave an in-depth City Hall Design presentation entitled “A place where the past, present and future come together”, which contained graphic images, facts, figures, and a construction timeline. The presentation included designs for both one and two story City Hall possibilities.

Mr. Harris then reviewed the following costs for one and two story options:

| | |
|--------------------------------|--------------------------------|
| One story / 12,450 SF | Two Story / 13,900 SF |
| \$4,330,000 for building costs | \$4,670,000 for building costs |
| \$1,200,000 for site costs | \$1,200,000 for site costs |
| <u>\$5,53,000 Total</u> | <u>\$5,870,000 Total</u> |

Mr. Harris noted the new City Hall would be accessed from the south and contain a meandering 36 stall parking lot. The parking lot design would preserve existing trees and allow a strong connection to the new trail system. Mr. Harris also described an amphitheater or other public space using the natural sloping topography of the site.

He explained City Hall would include Council Chambers, community meeting room, lobby and a separate secured working space for staff. The exterior will be wood with a metal roof and feature lots of windows.

Mr. Harris concluded by answering questions from Mayor and Councilmembers: Environmental concerns, efficiencies, PDA solar panels, maintenance, site factor determination and costs, soft costs, detention ponds, integrated trail system, and possible future expansion.

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City Hall Design Presentations / Frank Lawhead of Lawhead Architects

Ms. Lindell introduced Mr. Lawhead, Principal of Lawhead Architects. Mr. Lawhead provided a presentation which included a detailed power point including facts, figures and a building model for a new City Hall, which included design examples for a one and two story model.

Mr. Lawhead noted recent projects he had completed including a 30,000-square foot Public Administration building for Clallam County PUD #1 and a 13,000-square foot Administration building for Snohomish PUD.

He explained the new City Hall site would provide a strong connection to both North Bend Way and Cedar Falls by having two formal entrances at both locations connected by a central spine down the building with the more formal entrance and parking area off the Cedar Falls Way entrance. Mr. Lawhead described a large Mt. Si Porch extending into the ravine and trees and providing a trail connection to the Tanner Bike Trail. The Cedar Falls entrance would also feature a native path and a pocket park. Mr. Lawhead commented that using natural materials such as stone, masonry as a base, and wood siding for the facility represented North Bend's richness and community values.

He noted the design would feature spaces that were multipurpose, such as the Council Chambers. The large doors located in the Chambers would open up into the lobby thus expanding the community gathering space. Staff areas would be centralized allowing increased connectivity among the departments.

Mr. Lawhead went on to explain that he was confident this building could be constructed for approximately \$300 a square foot and stated that he had experience designing other structures which have been constructed within this price range.

Mr. Lawhead concluded by answering questions from Mayor and Councilmembers which concerned site factor determination, how to bring downtown and the new City Hall together (e.g. connecting city hall trail to the Tanner Bike Trail) , building costs, soft costs, cost difference between the one and two story designs, and incorporating solar technology.

After both presentations were completed, Ms. Lindell reminded Council that no decision was to be made tonight regarding an Architect for the new City Hall but that additional public open houses were set to occur during the first two weeks of November and staff would be returning to Council on November 15th with a report on public comments at which time Council could select an architect to move forward with for the next stage of design.

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Council Communication & Mini Retreat / Councilmembers Rosen & Volken

Councilmember Volken and Rosen informed fellow Councilmembers that they would like to draft a letter to the community (as a whole Council) regarding how growth management works.

Councilmember Volken noted during his campaigning that several citizens expressed a desire for better City communications and concerns about the growth of our community.

After Council discussion, the consensus was for all Councilmembers to review the draft letter provided and bring back their changes and vision for Growth Management to a Special Council Workstudy on November 15th.

ADJOURNMENT:

The meeting adjourned at 9:56 p.m.

ATTEST:

Ross Loudenback, Mayor Pro Tem

Kym Smith, Records Coordinator

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CITY OF NORTH BEND
CITY COUNCIL
SPECIAL WORKSTUDY NOTES
November 15, 2016 – 6:00 p.m.
Mt Si Senior Center, 411 Main Ave. S., North Bend, WA

Mayor Pro Tem Loudenback called the meeting to order at 6:10 p.m.

Councilmembers Brenden Elwood, Alan Gothelf, Trevor Kostanich, Ross Loudenback, Jeanne Pettersen, Jonathan Rosen and Martin Volken were present.

Staff Present: City Administrator Londi Lindell, Public Works Director Mark Rigos, Community & Economic Development Director Gina Estep, Building Official David Spencer, Project Manager Brian Tucker and City Clerk Susie Oppedal.

Council Communication

Councilmembers Rosen and Volken reviewed the Council Communication letter they had originally provided and discussed at the October 25th Workstudy. They noted the intent of the letter was to improve communications with the citizens regarding growth in the community.

Councilmembers provided suggestions regarding the structure, format and content of the letter. After discussion, Council expressed a desire to have a shorter one to two page condensed version of the letter sent to media outlets and utility customers and a more in-depth three to four page letter available for viewing on the City website. They requested the shorter version have a link to the longer online version on the website for those interested in reading the full content.

Adjournment

The workstudy closed at 7:00 p.m.

ATTEST:

Ross Loudenback Mayor Pro Tem

Susie Oppedal, City Clerk

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NORTH BEND CITY COUNCIL MINUTES

November 15, 2016

Senior Center, 411 Main Ave. S., North Bend, Washington

CALL TO ORDER, ROLL CALL:

Mayor Pro Tem Loudenback called the regular meeting to order at 7:10 p.m.

Councilmembers Present: Elwood, Gothelf, Kostanich, Loudenback, Pettersen, Rosen and Volken.

Mayor Pro Tem Loudenback recessed the meeting at 7:11 p.m. for a special meeting of the North Bend Transportation Benefit District Board.

Mayor Pro Tem Loudenback called the meeting back to order at 7:15 p.m.

Mayor Pro Tem Loudenback announced AB16-131 – Resolution Accepting 2016 Pavement Overlay Project as Complete would be pulled from the agenda.

CONSENT AGENDA:

Minutes – Council Meeting of November 1, 2016

Payroll – November 4, 2016 – 27545 through **27550**, in the amount of **\$197,804.14**

Checks – November 15, 2016 – 63518 through **63579**, in the amount of **\$278,453.22**

AB16-125 – Motion Authorizing Amendment to Yakima County Jail Services Contract

AB16-126 – Motion Authorizing Lease with Snoqualmie Valley Historical Museum

AB16-127 – Motion Authorizing Amendment No. 5 with Tetra Tech RE Bendigo Right Turn Lane Project

AB16-128 – Motion Authorizing Change Order No. 1 with Sierra Pacific RE Bendigo Right Turn Lane Project

AB16-129 – Resolution 1739 Authorizing Easement for Public Pathway

AB16-130 – Resolution 1740 Authorizing Easement for Sewer Extension

AB16-132 – Resolution 1741 Accepting Ribary Creek Sediment Project as Complete

AB16-133 – Ordinance 1604 Amending 2016-2016 Budget Ordinance

Councilmember Rosen **MOVED**, seconded by Councilmember Gothelf to approve the consent agenda as presented. The motion **PASSED** 6-0.

CITIZEN'S COMMENTS:

Dave Olson, 440 Main Ave. S, encouraged all to contribute to the Kiwanis Giving Tree campaign and Salvation Army Red Kettle campaign.

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ANNOUNCEMENTS, PRESENTATIONS, APPOINTMENTS:

Presentation – Winter Shelter

Jennifer Kirk, Congregations for the Homeless Case Manager & Director of Snoqualmie Valley Shelter Services provided a presentation on the Snoqualmie Valley Winter Shelter.

COMMISSION AND COMMITTEE REPORTS:

Parks Commission

A report of the October 19th meeting was provided.

Planning Commission

A report of the November 10th meeting was provided.

Economic Development Commission

A report of the October 25th meeting was provided.

Community & Economic Development Director Estep provided an update on activities at the Visitors Information Center.

Community & Economic Development Committee – Councilmember Pettersen, Chair

A report of the November 15th meeting was provided.

Finance & Administration Committee – Councilmember Rosen, Chair

A report of the November 1st meeting was provided.

Public Health & Safety Committee – Councilmember Gothelf, Chair

A report of the November 8th meeting was provided.

Transportation & Public Works Committee – Councilmember Loudenback, Chair

A report of the November 9th meeting was provided.

Council Workstudy – Mayor Pro Tem Loudenback

A report of the October 25th and November 15th Special Council Workstudies was provided.

Eastside Fire & Rescue Board Meeting – Councilmember Gothelf

A report of the November 10th meeting was provided.

INTRODUCTIONS:

AB16-134 – Public Hearing Cont., Ordinance 1605 Setting 2017 Property Tax Levy

Audio: 44:00

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Assistant City Administrator/Finance Director Masko provided the staff report.

Mayor Pro Tem Loudenback announced the Public Hearing on an Ordinance Setting 2017 Property Tax Levy was opened at the November 1, 2016 City Council meeting and continued to tonight's meeting.

There was no public comment and Mayor Pro Tem Loudenback closed the Public Hearing at 7:55 p.m.

Councilmember Rosen **MOVED**, seconded by Councilmember Pettersen to approve AB16-134, an ordinance adopting the 2017 Regular Property Tax Levy, as set forth in Option No. 1 above (0% Increase), as a first and final reading. The motion **PASSED** 4-2 (Elwood, Volken).

Presentation – Mayor's 2017/2018 Biennial Budget Message Audio: 01:07:17

City Administrator Lindell presented the 2017/2018 Biennial Budget Message.

AB16-135 – Public Hearing, Ordinance Adopting 2017/2018 Biennial Budget & 2017 Salary Schedule Audio: 01:16:34

Assistant City Administrator/Finance Director Masko provided the staff report.

Mayor Pro Tem Loudenback opened the Public Hearing on the 2017/2018 Biennial Budget at 8:30 p.m. There was no public comment and Mayor Pro Tem Loudenback closed the Public Hearing at 8:31 p.m.

Councilmember Rosen **MOVED**, seconded by Councilmember Gothelf to move the ordinance adopting the 2017/2018 Biennial Budget forward for a second reading and adoption at the December 6, 2016 City Council meeting. The motion **PASSED** 6-0.

AB16-136 – Ordinance 1606 Amending NBMC Chapter 14 RE Floodplain Management Audio: 01:21:02

Senior Planner Mike McCarty provided the staff report.

Councilmember Pettersen **MOVED**, seconded by Councilmember Rosen to approve AB16-136, an ordinance amending North Bend Municipal Code Chapter 14 relating to Floodplain Management, as a first and final reading. The motion **PASSED** 6-0.

AB16-137 – Motion Authorizing Additional Project Manager Audio: 01:29:04

Public Works Director Rigos provided the staff report.

Councilmember Kostanich **MOVED**, seconded by Councilmember Pettersen to approve

DRAFT

AB16-137, authorizing the Mayor to create a second Project Manager (Development Review Engineer) position in the City's Public Works Department. The motion **PASSED** 6-0.

AB16-138 – Resolution 1742 Designating 1155 E NB Way Municipal Campus Site as New City Hall Preferred Location **Audio: 01:34:27**

City Administrator Lindell provided the staff report.

Councilmember Elwood **MOVED**, seconded by Councilmember Rosen to approve AB16-138, a resolution identifying the Municipal Campus as the preferred location for the North Bend City Hall and moving the selection of an architect to complete design development of a new City Hall and related professional services agreement to the December 6th City Council meeting for consideration. The motion **PASSED** 6-0.

MAYOR, COUNCIL, AND ADMINISTRATOR CONCERNS AND INITIATIVES:

Councilmember Gothelf wished everyone a Happy Thanksgiving and thanked all for attending the meeting.

Councilmember Elwood reported on the November 14th Meadowbrook Farm Committee meeting and commented on the constructive conversation at the most recent workstudies.

Councilmember Kostanich noted November 29th had been set as the date for the next workstudy. Additionally, he reported on the Middle Fork Steering Committee meeting.

Councilmember Volken expressed a desire to stay within a budget on the new City Hall project and to convey that information to the architect that was selected for the project.

City Administrator Lindell noted one of the architectural firms that provided a presentation on the new City Hall project did stay within the five million dollar budget. She noted Council's concern regarding the project costs and would provide additional clarification regarding hard and soft costs at the December 6th Council meeting.

Mayor Pro Tem Loudenback spoke regarding the following items:

- Nominations for 2016 Citizen of the Year
- Vacancies on Parks Commission
- CRS Rating of Class 5
- Cancellation of November 22, 2016 City Council Workstudy

ADJOURNMENT:

Councilmember Elwood **MOVED** to adjourn, seconded by Councilmember Gothelf. The

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motion **PASSED** 6-0.

The meeting adjourned at 9:01 p.m.

ATTEST:

Ross Loudenback, Mayor Pro Tem

Susie Oppedal, City Clerk

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City Council Agenda Bill

| | | | |
|--|---------------|---|-----------------|
| SUBJECT: | | Agenda Date: December 6, 2016 | AB16-139 |
| A Resolution Designating the Snoqualmie Valley Record as the 2017 Official City Newspaper | | Department/Committee/Individual | |
| | | Mayor Ken Hearing | |
| | | City Administrator – Londi Lindell | |
| | | City Attorney - Mike Kenyon | |
| | | City Clerk – Susie Oppedal | X |
| | | Community & Economic Development – Gina Estep | |
| | | Finance – Dawn Masko | |
| | | Public Works – Mark Rigos | |
| Cost Impact: N/A | | | |
| Fund Source: N/A | | | |
| Timeline: Immediate | | | |
| Attachments: Resolution, Bid, Notice of Invitation to Bid | | | |
| <p>SUMMARY STATEMENT:</p> <p>RCW 35.23.352(7) and NBMC 1.26.010 require that the City request bids for an Official City Newspaper for publication of certain Legal Notices and Bid Requests. A notice of invitation to bid for 2017 was published on October 12, 2016.</p> <p>The City received one 2017 bid from the Snoqualmie Valley Record at a rate of \$11.39 per column inch, which is the same amount charged for the past several years. With a weekly unduplicated circulation for the Snoqualmie Valley Record of 12,132 the rate charged equated to .0004 cents per household.</p> <p>This resolution accepts the bid from the Snoqualmie Valley Record and designates the paper as the City’s Official Newspaper for 2017.</p> | | | |
| <p>COMMITTEE REVIEW AND RECOMMENDATION: This annual bid process for the Official Paper of Record was reviewed by the Finance & Administration Committee on December 6, 2016 with the recommendation for approval and placement on the consent agenda.</p> | | | |
| <p>RECOMMENDED ACTION: MOTION to approve AB16-139, a resolution accepting the Snoqualmie Valley Record publication bid and designating it as the official City newspaper for 2017.</p> | | | |
| RECORD OF COUNCIL ACTION | | | |
| <i>Meeting Date</i> | <i>Action</i> | <i>Vote</i> | |
| December 6, 2016 | | | |
| | | | |

RESOLUTION

**A RESOLUTION OF THE CITY OF NORTH BEND,
WASHINGTON, ACCEPTING THE SNOQUALMIE
VALLEY RECORD BID AND DESIGNATING THE
SNOQUALMIE VALLEY RECORD AS THE 2017
OFFICIAL CITY NEWSPAPER AS REQUIRED BY RCW
35.23.352(7)**

WHEREAS, RCW 35.23.352(7) and NBMC 1.26.010 requires the City request annual bids for an Official City Newspaper for publication of certain Legal Notices and Bid Requests; and

WHEREAS, a Request for Bids was published October 12, 2016 and the low bid was received from the Snoqualmie Valley Record; and

WHEREAS, the City desires to accept the bid and designate the Snoqualmie Valley Record as the 2017 City's Official Newspaper as required by RCW 35.23.352(7);

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF NORTH BEND,
WASHINGTON, DOES HEREBY RESOLVE AS FOLLOWS:**

Section 1. The Snoqualmie Valley Record bid is accepted and the Snoqualmie Valley Record is designated as the 2017 City's Official Newspaper for the purposes of RCW 35.23.352(7).

**PASSED BY THE CITY COUNCIL OF THE CITY OF NORTH BEND,
WASHINGTON, AT A REGULAR MEETING THEREOF, THIS 6TH DAY OF
DECEMBER, 2016.**

CITY OF NORTH BEND:

APPROVED AS TO FORM:

Kenneth G. Hearing, Mayor

Michael R. Kenyon, City Attorney

ATTEST/AUTHENTICATED:

Effective:
Posted:

Susie Oppedal, City Clerk



October 13, 2016

To: City of North Bend
Re: Official Newspaper Bid

Sound Publishing is pleased to submit our bid to continue to serve as the City of North Bend's Official City Newspaper of Record.

The Snoqualmie Valley Record newspaper meets all the qualifications of R.C.W. 65.16.020, and is recognized and listed with the King County, Washington, Superior Court as a legally qualified newspaper (attached).

The Snoqualmie Valley Record meets the needs of more than 25,477 readers in the Snoqualmie Valley. This award winning newspaper is also available at newsstands and stores located within the circulation area as well as the library and city hall.

With our current weekly unduplicated circulation at 12,132 we will offer the City of North Bend the legal advertising rate of \$11.39 this year which equates to a rate of .0004¢ per household.

Affidavits of publication are mailed within one week after a notice is published and each packet of affidavits will include 3 copies for your records.

We look forward to continuing to serve the City's needs.

Sincerely,

A handwritten signature in blue ink that reads "Linda Mills".

Linda Mills
Legal Advertising Representative
Snoqualmie Valley Record, a Division of Sound Publishing
253-234-3506
Email: LMills@SoundPublishing.com

RECEIVED
KING COUNTY, WASHINGTON

RECEIVED
KING COUNTY SUPERIOR COURT

JAN 30 2007

JAN 30 2007

KNT DEPARTMENT OF
JUDICIAL ADMINISTRATION

EX-PARTE DEPT.
KENT, WASHINGTON

SUPERIOR COURT OF WASHINGTON FOR KING COUNTY

In Re the Matter of,

KING COUNTY PUBLICATIONS LTD.,

Petitioner.

NO. **107-2-04096-0** KNT

**ORDER GRANTING PETITION FOR
APPROVAL AS A LEGAL
NEWSPAPER**

THIS MATTER having come before the Court on Petition of King County Publications Ltd. for an Order Approving King County Publications' Consolidated Newspaper Group, including but not limited to the *Auburn Reporter*, *Bellevue Reporter*, *Covington and Maple Valley Reporters*, *Bothell and Kenmore Reporters*, *Kent Reporter*, *Redmond Reporter*, *Renton Reporter*, *Mercer Island Reporter* and *Snoqualmie Valley Record*, as "legal newspapers," as defined in RCW 65.16.020, and this Court having reviewed the Petition and attached Declaration of Don Kendall, Publisher of KCP Consolidated Newspaper Group, and being fully advised, NOW, THEREFORE,

IT IS HEREBY ORDERED that King County Publications' Consolidated Newspaper Group, including but not limited to the *Auburn Reporter*, *Bellevue Reporter*, *Covington and Maple Valley Reporters*, *Bothell and Kenmore Reporters*, *Kent Reporter*, *Redmond Reporter*, *Renton Reporter*, *Mercer Island Reporter* and *Snoqualmie Valley Record*, together with any

ORDER GRANTING PETITION FOR APPROVAL
AS A LEGAL NEWSPAPER - 1

122295.0001/1356991.1

LANE POWELL PC
1420 FIFTH AVENUE, SUITE 4100
SEATTLE, WASHINGTON 98101-2338
206.223.7000 FAX: 206.223.7107

1 future King County Publications under the consolidation provisions of RCW 65.16.020, is
2 declared a legally qualified newspaper under RCW 65.16.020.

3 DONE IN OPEN COURT this JAN 30 2007 day of January, 2007.

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KIMBERLEY D. PROCHNAU

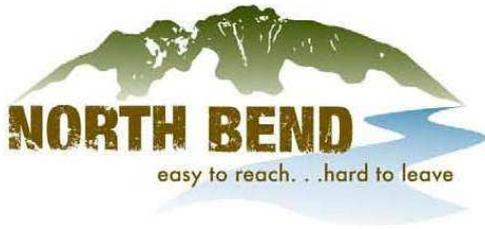
Judge/Court Commissioner

Presented by:

LANE POWELL PC

By Michael A. Nesteroff
Michael D. Dwyer, WSBA No. 04861
Michael A. Nesteroff, WSBA No. 13180
Attorneys for Petitioner
King County Publications Ltd.

ORDER GRANTING PETITION FOR APPROVAL
AS A LEGAL NEWSPAPER - 2



**LEGAL NOTICE
CITY OF NORTH BEND
King County, Washington**

**NOTICE OF
INVITATION TO BID**

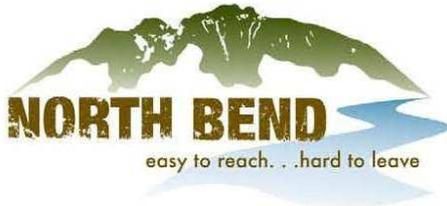
The City of North Bend is accepting bids for the City's "Official Newspaper" for the year 2017. The successful bidder will receive legal notices and notices to bid, as required by law, for publication. Bidders must meet the qualifications set forth in RCW 65.16.020, as well as have the ability to provide the City with an Affidavit of Publication within two weeks of the publication date. A qualified bid will consist of a Statement of Qualifications and Publication Rate per column inch.

Qualified Sealed Bids should be delivered to the attention of City of North Bend, City Clerk, clearly marked "Official Newspaper Bid" on the outside of the envelope, and addressed to P.O. Box 896, 211 Main Ave. N, North Bend, WA 98045.

Bids will be accepted until 10:00 A.M. November 4, 2016, at which time the City Clerk will open the bids. All bidders will be notified of the results.

Published: October 12, 2016

Posted: October 12, 2016



City Council Agenda Bill

| | | | | | |
|---|--|---|--|-----------------|---|
| SUBJECT: | | Agenda Date: December 6, 2016 | | AB16-140 | |
| Motion Authorizing Blanket Purchase Orders with City Vendors | | Department/Committee/Individual | | | |
| | | Mayor Ken Hearing | | | |
| | | City Administrator – Londi Lindell | | | |
| | | City Attorney - Mike Kenyon | | | |
| | | City Clerk – Susie Oppedal | | | |
| | | Community & Economic Development – Gina Estep | | | |
| | | Finance – Dawn Masko | | | X |
| | | Public Works – Mark Rigos | | | |
| Cost: N/A | | | | | |
| Fund Source: Various | | | | | |
| Timeline: Immediate | | | | | |
| Attachments: Exhibit A – List of 2016 Blanket Purchase Orders | | | | | |
| <p>SUMMARY STATEMENT:</p> <p>A Blanket Purchase Order is a purchase order that is used for routine or normal operating supplies and services purchased on a repetitive basis from the same vendor. The City’s current purchasing policies require City Council approval for any contract or purchase order exceeding \$7,500. Staff estimates that it will spend more than \$7,500 on routine purchases from the vendors listed in Exhibit A for the remainder of 2016.</p> <p>Staff is requesting approval of blanket purchase orders with the vendors listed in Exhibit A in amounts not to exceed those listed for the remainder of 2016. Sufficient funds have already been appropriated within the existing budget for these purchases.</p> | | | | | |
| <p>COMMITTEE REVIEW AND RECOMMENDATION: The Finance & Administration Committee discussed the utilization of blanket purchases orders at the July 2015 meeting and recommended using blanket purchases orders for routine purchases with placement on the consent agenda.</p> | | | | | |
| <p>RECOMMENDED ACTION: MOTION to approve AB16-140, authorizing Blanket Purchase Orders with the vendors listed in Exhibit A in amounts not to exceed those listed in Exhibit A.</p> | | | | | |
| RECORD OF COUNCIL ACTION | | | | | |
| <i>Meeting Date</i> | | <i>Action</i> | | <i>Vote</i> | |
| December 6, 2016 | | | | | |
| | | | | | |

EXHIBIT A – 2016 BLANKET PURCHASE ORDERS

| VENDOR | PURPOSE | 2016 AMOUNT NOT TO EXCEED |
|----------------------|------------------------|--------------------------------------|
| Ace Hardware | Operating supplies | \$15,000 |
| HD Supply Waterworks | Water supplies & parts | \$38,000 |



City Council Agenda Bill

| | | | | |
|---|--|---|-----------------|---|
| SUBJECT: | | Agenda Date: December 6, 2016 | AB16-141 | |
| <p>An Ordinance Increasing the Solid Waste & Recycling Rates and Amending the Taxes, Rates & Fees Schedule</p> <p>Cost Impact: N/A</p> <p>Fund Source: N/A</p> <p>Timeline: January 1, 2017</p> | | Department/Committee/Individual | | |
| | | Mayor Ken Hearing | | |
| | | City Administrator – Londi Lindell | | |
| | | City Attorney - Mike Kenyon | | |
| | | City Clerk – Susie Oppedal | | |
| | | Community & Economic Development – Gina Estep | | |
| | | Finance – Dawn Masko | | X |
| | | Public Works – Mark Rigos | | |
| Attachments: Ordinance, Notice of Rate Increase | | | | |
| <p>SUMMARY STATEMENT:</p> <p>On March 20, 2012 the City Council passed Resolution 1581, entering into a contract with Republic Services for solid waste and recycling collection services effective June 1, 2012 to March 31, 2020.</p> <p>Under Section 3.3.1 of the contract, the rate charged for services shall adjust annually on January 1st to reflect any change in the Consumer Price Index for the Seattle-Tacoma-Bremerton metropolitan area (CPI) published from the previous June.</p> <p>The provider sent notification to the City in September 2016 that they would be raising rates to reflect a 1.9937% increase in the CPI and an increase in the disposal rates charged by King County. Additionally, they provided notice to ratepayers of the proposed increase in their November billing statement. Notice of the rate increase was also published in The Snoqualmie Valley Record on November 2nd and 9th.</p> <p>Changes in the Solid Waste and Recycling Rates will be reflected in the Stand-Alone Taxes, Rates and Fees Schedule upon passage of the ordinance, and will be added as Exhibit A to the ordinance. The current Taxes Rates & Fees Schedule is available on the homepage of the City website at http://northbendwa.gov.</p> | | | | |
| <p>COMMITTEE REVIEW AND RECOMMENDATION: This item was reviewed by the Finance & Administration Committee on October 4, 2016 with the recommendation for approval and placement on the consent agenda.</p> | | | | |
| <p>RECOMMENDED ACTION: MOTION to approve AB16-141, an ordinance increasing the Solid Waste & Recycling Rates and amending the Taxes, Rates & Fees Schedule, as a first and final reading.</p> | | | | |
| RECORD OF COUNCIL ACTION | | | | |
| <i>Meeting Date</i> | | <i>Action</i> | | |
| <i>Vote</i> | | | | |
| December 6, 2016 | | | | |
| | | | | |

ORDINANCE

AN ORDINANCE OF THE CITY OF NORTH BEND, WASHINGTON, INCREASING THE SOLID WASTE AND RECYCLING COLLECTION RATES AND AMENDING THE TAXES, RATES AND FEES SCHEDULE; PROVIDING FOR SEVERABILITY; AND ESTABLISHING AN EFFECTIVE DATE

WHEREAS, on March 20, 2012 the City Council passed Resolution 1581, entering into a contract with Republic Services for solid waste and recycling collection services, effective June 1, 2012 to March 31, 2020; and

WHEREAS, under Section 3.3.1 of the contract, the rate charged for services shall adjust annually on January 1st to reflect any change in the Consumer Price Index for the Seattle-Tacoma-Bremerton metropolitan area (CPI) published from the previous June; and

WHEREAS, the City received notification by the provider in September, 2016 of a rate increase in accordance with the CPI (Rate Increase) and now desires to amend the Taxes, Rates & Fees Schedule to reflect the changes accordingly; and

WHEREAS, the City published notice of the Rate Increase in the Snoqualmie Valley Record on November 2 and 9, 2016;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. Solid Waste Collection Rates: The Garbage Collection and Curbside Recycling Rates for services detailed in North Bend Municipal Code Section 8.12.010 are hereby amended as follows effective January 1, 2017:

A. Monthly Rate - Single Family Residential.

| Weekly Pickup | Rate |
|--|----------------------------------|
| 1 20-gallon Garbage Cart | \$ 15.57 16.16 |
| 1 32/35-gallon Garbage Cart | \$ 20.03 20.87 |
| 1 45-gallon Garbage Cart | \$ 25.93 27.12 |
| 1 60/64-gallon Garbage Cart | \$ 32.55 34.09 |
| 1 96-gallon Garbage Cart | \$ 42.75 44.94 |
| Additional 32 Gallon Cans (weekly svc) | \$ 8.49 9.11 |
| Garbage Extras (32 gallon equivalent) | \$ 9.21 9.85 |

| | |
|---|-----------------------|
| Miscellaneous Fees: | |
| <u>EoW Yard Debris Service</u> | <u>\$ 8.85</u> |
| 96 Gallon Extra Yard Waste Cart Rental | \$ <u>1,691.72</u> |
| Wildlife Resistant Container, per month | \$ <u>3,333.40</u> |
| Return Trip | \$ <u>6,756.88</u> |
| Carry-out Charge, per 25 ft, per month | \$ <u>4,514.60</u> |
| Drive-in Charge, per month | \$ <u>6,756.88</u> |
| Overweight/Oversize container (per p/u) | \$ <u>3,383.45</u> |
| Redelivery of containers | \$ <u>11,241.46</u> |
| Cart Cleaning (per cart per event) | \$ <u>11,241.46</u> |
| Sunken Can Surcharge per month | \$ <u>8,438.60</u> |
| On-Call Bulky Waste Collection | |
| | \$ |
| White Goods, except refrigerators | <u>98,38105.64</u> |
| Refrigerators/Freezers | <u>\$102,98110.33</u> |
| Sofas, Chairs | <u>\$106,26113.68</u> |
| | \$ |
| Mattresses | <u>98,14102.75</u> |
| Monthly Only | |
| One 32/35 gallon Garbage Cart | \$ <u>10,3011.11</u> |

Single-family residential service includes one weekly garbage pickup, one weekly curbside recycling pickup and curbside compostables collection every other week, all utilizing containers provided by the contractor. All residential rates include a monthly hazardous waste fee computed by the King County Health Department.

B. Monthly Rate – Commercial and Multiple-Family.

| Weekly Commercial Can and Cart | Rate |
|---|----------------------|
| 1 20-gallon Garbage Cart | \$ <u>19,5720.28</u> |
| 1 32/35-gallon Garbage Cart | \$ <u>24,9325.94</u> |
| 1 45-gallon Garbage Cart | \$ <u>30,8232.20</u> |
| 1 60/64-gallon Garbage Cart | \$ <u>35,9837.72</u> |
| 1 96-gallon Garbage Cart | \$ <u>46,4648.93</u> |
| Extras (32 gallon equivalent) | \$ <u>9,289.97</u> |
| Miscellaneous Fees: | |
| Weekly Yard Debris/Foodwaste service | \$ <u>11,5311.76</u> |
| 64/96 Gallon Yard Extra Waste Cart Rental | \$ <u>1,691.72</u> |
| Return Trip | \$ <u>6,756.88</u> |

| | |
|---|---|
| Carry-out Charge, per 25 ft, per p/u | \$ 1.691.72 |
| Drive-in Charge, per month (per p/u) | \$ 6.756.88 |
| Gate and/or unlock fee (per p/u) | \$ 1.691.72 |
| Container roll-out, >10 feet (per p/u) | \$ 3.383.45 |
| Overweight/Oversize container (per p/u) | \$ 3.383.45 |
| Redelivery of container | \$ 11.24 <u>11.46</u> |
| Cart Cleaning (per cart per event) | \$ 11.24 <u>11.46</u> |
| Weekly Commercial Detachable Container (compacted) | |
| 1 Cubic Yard Container | \$ 262.25 <u>277.60</u> |
| 1.5 Cubic Yard Container | \$ 329.00 <u>350.74</u> |
| 2 Cubic Yard Container | \$ 407.17 <u>435.52</u> |
| 3 Cubic Yard Container | \$ 561.47 <u>603.02</u> |
| 4 Cubic Yard Container | \$ 785.89 <u>842.03</u> |
| 6 Cubic Yard Container | \$ 1,135.89 <u>1,219.23</u> |
| Commercial Detachable Container (loose) | |
| 1 Cubic Yard, 1 pickup/week | \$ 104.09 <u>109.06</u> |
| 1 Cubic Yard, 2 pickups/week | \$ 208.19 <u>218.12</u> |
| 1 Cubic Yard, 3 pickups/week | \$ 312.28 <u>327.18</u> |
| 1 Cubic Yard, 4 pickups/week | \$ 416.38 <u>436.25</u> |
| 1 Cubic Yard, 5 pickups/week | \$ 520.46 <u>545.29</u> |
| <u>1.5 Cubic Yard, 1 pickup/week</u> | \$ 167.36 |
| <u>1.5 Cubic Yard, 2 pickups/week</u> | \$ 334.73 |
| <u>1.5 Cubic Yard, 3 pickups/week</u> | \$ 502.08 |
| <u>1.5 Cubic Yard, 4 pickups/week</u> | \$ 669.46 |
| <u>1.5 Cubic Yard, 5 pickups/week</u> | \$ 836.83 |
| 2 Cubic Yard, 1 pickups/week | \$ 186.64 <u>196.14</u> |
| 2 Cubic Yard, 2 pickups/week | \$ 373.29 <u>392.29</u> |
| 2 Cubic Yard, 3 pickups/week | \$ 559.91 <u>588.42</u> |
| 2 Cubic Yard, 4 pickups/week | \$ 746.56 <u>784.58</u> |
| 2 Cubic Yard, 5 pickups/week | \$ 933.20 <u>980.72</u> |
| 3 Cubic Yard, 1 pickup/week | \$ 270.75 <u>284.82</u> |
| 3 Cubic Yard, 2 pickups/week | \$ 541.50 <u>569.64</u> |
| 3 Cubic Yard, 3 pickups/week | \$ 812.26 <u>854.47</u> |
| 3 Cubic Yard, 4 pickups/week | \$ 1,083.00 <u>1,139.28</u> |
| 3 Cubic Yard, 5 pickups/week | \$ 1,353.76 <u>1,424.11</u> |
| 4 Cubic Yard, 1 pickup/week | \$ 336.39 <u>354.66</u> |
| 4 Cubic Yard, 2 pickups/week | \$ 672.80 <u>709.34</u> |

| | |
|--|--|
| 4 Cubic Yard, 3 pickups/week | \$1,009.19 <u>1,064.00</u> |
| 4 Cubic Yard, 4 pickups/week | \$1,345.60 <u>1,418.67</u> |
| 4 Cubic Yard, 5 pickups/week | \$1,682.00 <u>1,773.35</u> |
| 6 Cubic Yard, 1 pickup/week | \$ 475.94 <u>502.76</u> |
| 6 Cubic Yard, 2 pickups/week | \$ 951.85 <u>1,005.52</u> |
| 6 Cubic Yard, 3 pickups/week | \$1,427.80 <u>1,508.29</u> |
| 6 Cubic Yard, 4 pickups/week | \$1,903.71 <u>2,011.04</u> |
| 6 Cubic Yard, 5 pickups/week | \$2,379.65 <u>2,513.81</u> |
| 8 Cubic Yard, 1 pickup/week | \$ 603.46 <u>638.62</u> |
| 8 Cubic Yard, 2 pickups/week | \$1,206.93 <u>1,277.24</u> |
| 8 Cubic Yard, 3 pickups/week | \$1,810.40 <u>1,915.87</u> |
| 8 Cubic Yard, 4 pickups/week | \$2,413.86 <u>2,554.49</u> |
| 8 Cubic Yard, 5 pickups/week | \$3,017.33 <u>3,193.12</u> |
| Extra loose cubic yard, per pickup | \$ 39.29 <u>42.97</u> |
| Drop Box Miscellaneous Fees (per occurrence): | |
| Return Trip | \$ 11.24 <u>11.46</u> |
| Roll-out Container over 10 feet (per p/u) | \$ 3.38 <u>3.45</u> |
| Unlock Container (per p/u) | \$ 1.69 <u>1.72</u> |
| Gate Opening (per p/u) | \$ 1.69 <u>1.72</u> |

Commercial service includes, in addition to the garbage service chosen, one weekly recycling pickup, both utilizing containers provided by the contractor. Multiple-family service includes recycling pickup weekly or more frequently as needed using containers provided by the contractor. Cart-based compostables collection may be provided with multiple-family and commercial service on a subscription fee basis if requested. All commercial rates include a monthly hazardous waste fee computed by the King County Health Department.

E. Single Family Residential Rates – Senior (age 65+)/low income.

| Weekly Pickup | Rate |
|--|----------------------------------|
| 1 20-gallon Garbage Cart (<u>Mini-Can</u>) | \$ 11.73 <u>12.24</u> |

| | |
|--|-------------------------------------|
| 1 32/35-gallon Garbage Cart | \$ 14.57 15.30 |
| 1-45-gallon Garbage Cart | -\$19.45 |
| 1-60/64-gallon Garbage Cart | -\$24.41 |

Section 2. Update of Taxes, Rates & Fees Schedule. The Taxes, Rates and Fees Schedule, effective as of September 1, 2016, is amended to reflect the amendments set forth in this ordinance, and is incorporated herein as if set forth in full. Such amended Taxes, Rates and Fees Schedule is attached hereto as **Exhibit A** and supersedes and replaces all other prior versions.

Section 3. Severability: Should any section, paragraph, sentence, clause or phrase of this ordinance, or its application to any person or circumstance, be declared unconstitutional or otherwise invalid for any reason, or should any portion of this ordinance be pre-empted by state or federal law or regulation, such decision or pre-emption shall not affect the validity of the remaining portions of this ordinance or its application to other persons or circumstances.

Section 4. Effective Date: This ordinance shall be published in the official newspaper of the City, and shall take effect and be in full force on January 1, 2017.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, AT A REGULAR MEETING THEREOF, THIS 6TH DAY OF DECEMBER, 2016.

CITY OF NORTH BEND:

APPROVED AS TO FORM:

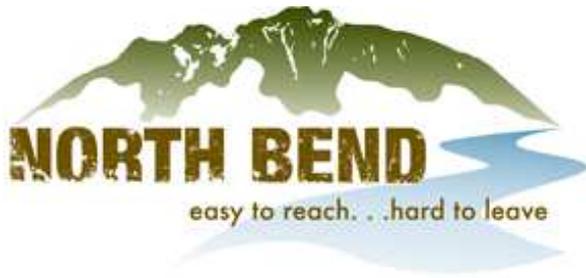
Kenneth G. Hearing, Mayor

Michael R. Kenyon, City Attorney

ATTEST/AUTHENTICATED:

Published:
Effective: January 1, 2017

Susie Oppedal, City Clerk



**LEGAL NOTICE
CITY OF NORTH BEND
King County, Washington**

NOTICE OF RATE INCREASE

NOTICE IS HEREBY GIVEN that the North Bend City Council is proposing a rate increase in 2017 to solid waste and recycling fees. This rate increase is due to an increase in the Consumer Price Index for the Seattle-Tacoma-Bremerton Metropolitan area and an increase in the disposal rates charged by King County. The City Council will consider the proposed rate increase at its meeting to be held Tuesday December 6, 2016, at 7:00 PM at the Mt. Si Senior Center, 411 Main Ave. S., North Bend, WA.

The following rates (excluding taxes and fees) are proposed for 2017:

32/35 gallon residential garbage cart - \$20.87 per month

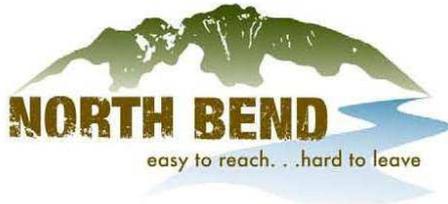
60/64 gallon residential garbage cart - \$34.09 per month

1 cubic yard commercial detachable container (loose) - \$109.06 per month

For additional information on the proposed rate increases please contact Assistant City Administrator/Finance Director Dawn Masko at (425) 888-7630.

Posted: November 2, 2016

Published in the Snoqualmie Valley Record: November 2, and November 9, 2016



City Council Agenda Bill

| | | | | | | |
|--|--|---|--|-----------------|--|---|
| SUBJECT: | | Agenda Date: December 6, 2016 | | AB16-142 | | |
| Motion Authorizing Payment to Republic Services for Hauling Construction and Demolition Debris for the Torguson Park Capital Improvement Project | | Department/Committee/Individual | | | | |
| | | Mayor Ken Hearing | | | | |
| | | City Administrator – Londi Lindell | | | | |
| | | City Attorney - Mike Kenyon | | | | |
| | | City Clerk – Susie Oppedal | | | | |
| | | Community & Economic Development – Gina Estep | | | | |
| | | Finance – Dawn Masko | | | | |
| | | Public Works – Mark Rigos, P.E. | | | | X |
| | | Cost Impact: \$8,072.70 | | | | |
| Fund Source: Parks Impact Fees | | | | | | |
| Timeline: Immediately | | | | | | |
| Attachments: Republic Services Invoice | | | | | | |
| <p>SUMMARY STATEMENT:</p> <p>North Bend City Council approved the contract with Rodarte Construction for construction of the Torguson Park Improvements on September 13, 2016. To reduce the Rodarte contract fee amount, several items were removed from the work scope, including demolition and removal of the existing baseball field backstops, benches, utility boxes, asphalt, etc.</p> <p>On a late September weekend, volunteers affiliated with Snoqualmie Valley Little League generously donated their time to remove the four existing backstops and cyclone fences. Then, over a two-week span in early October, North Bend Public Works Department’s maintenance division extracted and removed remaining items such as pavement, wood, metal braces, screws, nails, supports, concrete boxes, etc. so that the four baseball field areas would be prepped for Rodarte to begin construction in mid-October. There was quite a bit of material that needed to be hauled from the site. It amounted to approximately 65 tons that was loaded into Republic Services containers. Republic’s invoice for haul away and disposal is attached and staff recommends approval of payment in the amount of \$8,072.70.</p> | | | | | | |
| <p>COMMITTEE REVIEW AND RECOMMENDATION: The Transportation & Public Works Committee discussed this item at their November 9, 2016 meeting and recommended approval and placement on the consent agenda.</p> | | | | | | |
| <p>RECOMMENDED ACTION: MOTION to approve AB16-142, authorizing payment to Republic Services for demolition debris removal, in the amount of \$8,072.70.</p> | | | | | | |
| RECORD OF COUNCIL ACTION | | | | | | |
| <i>Meeting Date</i> | | <i>Action</i> | | <i>Vote</i> | | |
| December 6, 2016 | | | | | | |
| | | | | | | |



CITY OF NORTH BEND

Republic Services #172

| | | |
|----------------|------------------|--------------------------|
| Account Number | 3-0172-0096211 | 1600 127th Avenue NE |
| Invoice Date | October 31, 2016 | Bellevue WA 98005-213636 |
| Invoice Number | 0172-006913964 | |

Current Invoice Charges

1 - Recycle Rolloff (15yd) On Call Service (S3) Concrete

| Date | Description | Reference | Quantity | Unit Price | Amount |
|-------|--------------------------------|-----------|-------------|------------|-------------------|
| 10/12 | Disposal/Recycling | 1042353 | 11.5400Tons | | \$259.65 |
| 10/12 | Basic Service | Carrie | 1.0000 | \$196.90 | \$196.90 |
| 10/13 | Disposal/Recycling | 1042517 | 13.6900Tons | | \$308.03 |
| 10/13 | Disposal/Recycling | 1042603 | 10.7200Tons | | \$241.20 |
| 10/13 | Basic Service | Carrie | 1.0000 | \$196.90 | \$196.90 |
| 10/13 | Basic Service | Carrie | 1.0000 | \$196.90 | \$196.90 |
| 10/21 | Disposal/Recycling | 1043484 | 11.3900Tons | | \$256.28 |
| 10/21 | Basic Service | Carrie | 1.0000 | \$196.90 | \$196.90 |
| 10/31 | Rental 10/12/16-10/31/16 | | 1.0000 | \$171.25 | \$112.60 |
| 10/31 | Rental 10/27/16-10/31/16 | | 1.0000 | \$171.25 | -\$28.15 |
| | Total City Tax | | | | \$483.20 |
| | Total State Sales Tax @ 8.9 % | | | | \$19.72 |
| | Current Invoice Charges | | | | \$8,072.70 |

| | | |
|---------------|--------|----------|
| VEND.# | INV.# | INV DATE |
| | | 10/31/16 |
| 310-200-003 | 594.76 | 62.01 |
| Torguson Park | | |
| | | |
| | | |
| | | |
| APPROVAL | | |

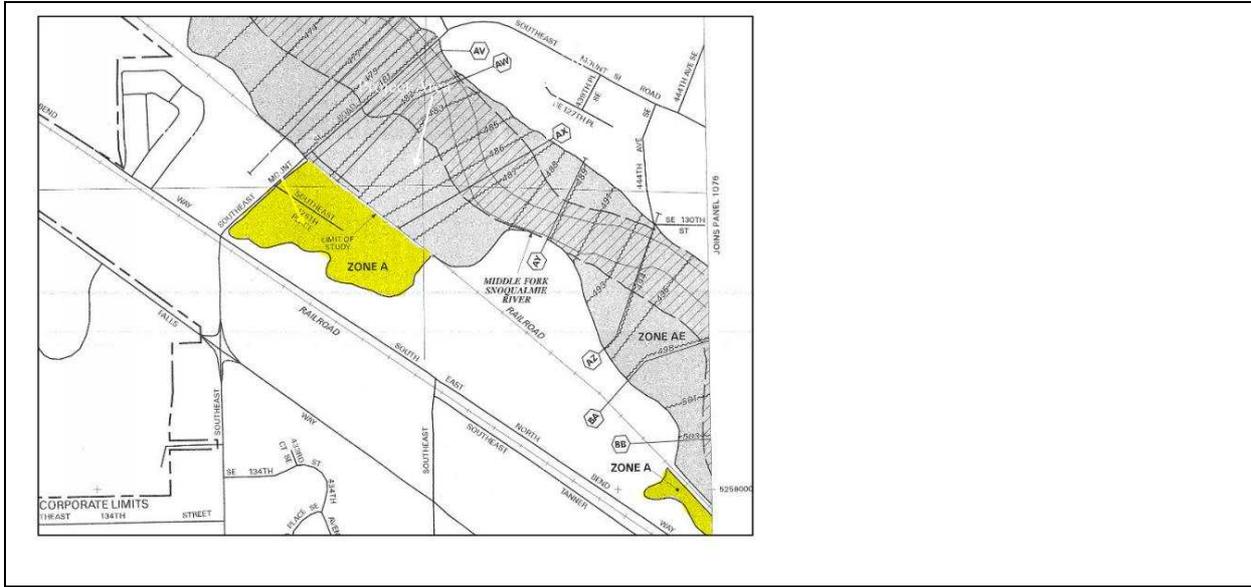
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City Council Agenda Bill

| | | | |
|--|---|--|-----------------|
| SUBJECT: | Agenda Date: December 6, 2016 | | AB16-143 |
| Motion Authorizing Contract with WEST Consultants, Inc. for the Middle Fork Snoqualmie River Letter of Map Revision (LOMR) Study | Department/Committee/Individual | | |
| | Mayor Ken Hearing | | |
| | City Administrator – Londi Lindell | | |
| | City Attorney - Mike Kenyon | | |
| | City Clerk – Susie Oppedal | | |
| | Community & Economic Development – Gina Estep | | |
| | Finance – Dawn Masko | | |
| | Public Works – Mark Rigos, P.E. | | X |
| Cost Impact: \$24,202 | | | |
| Fund Source: Flood Operations | | | |
| Timeline: 1/1/17 – 12/31/17 | | | |
| Attachments: WEST Consultants Scope and Fee | | | |
| <p>SUMMARY STATEMENT:</p> <p>Middle Fork Snoqualmie River is prone to flooding and contains a wide 100-year floodplain corridor. In a 100-year flood event, there will be very significant impacts to the City of North Bend. In 2005, FEMA re-mapped the special flood hazard area in the City. Zone AE (where base floodplain elevations (BFEs) are calculated) floodplains and floodways were delineated along the Middle and South Fork Snoqualmie Rivers. However, for unknown reasons to staff, two areas south of the Middle Fork River, east of SE Mount Si Road, between Snoqualmie Valley Trail and East North Bend Way were not mapped with an AE Zone designation and instead were mapped Zone A (see highlighted map on the next page). Zone A shows the inundation extent of the 1% annual flood (100-year flood), <u>but does not show BFEs. Without BFEs, it has resulted in a major challenge for the City to try to regulate development in that area of the City.</u></p> <p>To have greater certainty of flood risk (or not) in this area, a hydraulic analysis would need to be performed to determine BFEs on approximately 20 parcels near SE 128th Place and adjacent to SE Mount Si Road. Additionally, a Letter of Map Revision (LOMR) would need to be submitted to FEMA to revise the floodplain to a Zone AE designation which will show new BFEs in the two areas. Consequently, the entire City would have mapped BFEs (if located in a floodplain).</p> <p>On two occasions in 2016, Public Works Department staff met with WEST Consultants, Inc. and Mike Root, P.L.S (WEST) to discuss the potential floodplain study. Last summer, local real estate agent Monica Antone informed Public Works Director Mark Rigos that she had contacted all property owners and they all gave their permission for WEST’s study to occur on their properties. The property owners want clarity. WEST provided a proposal containing a work scope and fee (attached) to the City. WEST is a qualified consultant for this work. If approved, the project would begin January 2017 and it’s anticipated a LOMR package would be submitted to FEMA by May 2017. City staff recommends moving forward with this study.</p> | | | |

City Council Agenda Bill



COMMITTEE REVIEW AND RECOMMENDATION: This item was brought forward on the Transportation and Public Works (TPW) Committee agenda on September 14, 2016 and it was recommended for approval and placement on Consent Agenda.

RECOMMENDED ACTION: **MOTION** to approve AB16-143, authorizing a contract with West Consultants, Inc. for the Middle Fork Snoqualmie River Letter of Map Revision (LOMR) Study, in a form and content acceptable to the City Attorney, in an amount not to exceed \$24,202.

RECORD OF COUNCIL ACTION

| <i>Meeting Date</i> | <i>Action</i> | <i>Vote</i> |
|---------------------|---------------|-------------|
| December 6, 2016 | | |
| | | |

City of North Bend



**South Fork Snoqualmie River –
January 2009 Flooding**



**South Fork Snoqualmie River - June 2015
Drought**

**Technical Proposal and
Qualification Statement for Middle
Fork Snoqualmie River Letter of
Map Revision**

Submitted October 24, 2016

Snoqualmie River FLO-2D Model



www.westconsultants.com



October 24, 2016

Mark Rigos, P.E.
Public Works Director
City of North Bend
1155 E. North Bend Way
North Bend, WA 98045

Washington
12509 Bel-Red Road
Suite 100
Bellevue, WA 98005-2525

425-646-8806
425-646-0570 FAX

California
11440 W. Bernardo Ct.
Suite 360
San Diego, CA 92127-1644

858-487-9378
858-487-9448 FAX

101 Parkshore Dr.
Folsom, CA 95630-4726

916-932-7402
916-932-7408 FAX

Oregon
2601 25th Street SE
Suite 450
Salem, OR 97302-1286

503-485-5490
503-485-5491 FAX

10300 SW Greenburg Road
Suite 470
Portland, OR 97223

503-946-8536
503-946-8537 FAX

Arizona
8950 S 52nd St.
Suite 210
Tempe, AZ 85284-1137

480-345-2155
480-345-2156 FAX

River Measurement
A Division of WEST Consultants
811 NE 154th Street
Vancouver, WA 98685

360-571-2290
360-571-2291 Fax

www.westconsultants.com

Dear Mr. Rigos:

WEST Consultants, Inc. (WEST) is pleased to submit this proposal and qualifications in response to your request for a FEMA letter of map revision (LOMR) study of the Middle Fork Snoqualmie River.

WEST is one of the leading engineering firms in the fields of hydrology, hydraulics, and sedimentation in the Northwest. We are a small business and have been a FEMA Region 10 study contractor, and have extensive experience conducting this type of work.

What we bring is our experience and expertise. It is clear that the crux of this LOMR study is the deep understanding of floodplain modeling using HEC-RAS and familiarity with FEMA/City regulations.

We are a study contractor for FEMA, the Washington State, and various communities for flood insurance studies throughout the region. We are currently conducting flood insurance studies for two watersheds in Yakima County. We teach HEC-RAS nationwide. We have used HEC-RAS to conduct numerous hydraulic studies for FEMA, the U.S. Army Corps of Engineers, and WSDOT. Therefore, we have an excellent understanding of the appropriate modeling techniques in HEC-RAS and have unique knowledge about guidelines and specifications for floodplain analyses. We have assisted many property owners and developers to perform hydraulic analyses and prepare various types of FEMA map revision requests. We effectively coordinate with the communities and FEMA to address review comments and successfully have map revision requests approved.

As described in our proposal and statement of qualifications, WEST personnel possess superb technical competence and communication skills to complete the floodplain analysis.

If you have any questions or need additional information, please contact me at (425) 646-8806 or hhu@westconsultants.com. We look forward to the opportunity to work with you on this very important project.

Sincerely,

Henry Hu, Ph.D., P.E., P.H., CFM
Senior Project Manager



Proposal

for

**Middle Fork Snoqualmie River Letter of
Map Revision**

Prepared for:
City of North Bend
North Bend, Washington

by



12509 Bel-Red Road, Suite 100
Bellevue, WA 98005

October 24, 2016

1 Project Understanding, Approach, and Scope

1.1 Project Understanding

The Middle Fork Snoqualmie River is prone to flooding and typically sees multiple flood events annually. The Federal Emergency Management Agency (FEMA) mapped the special flood hazard area using detailed methods. Zone AE floodplains and floodway were delineated along the river. However, two left overbank areas that are east of Southeast Mount Si Road between Snoqualmie Valley Trail and South East North Bend Way in North Bend, WA, were mapped with a Zone A designation (**Error! Reference source not found.**). A Zone A floodplain only shows the inundation extent of the 1% annual chance flood. No base flood elevations are available in these Zone A areas, which have created some challenges in managing development within this area of the floodplain. To better define the flood risk in the area, WEST Consultants, Inc. (WEST) will perform a hydraulic analysis to determine the base flood elevations. WEST will also prepare and submit a Letter of Map Revision (LOMR) to revise the floodplain with a different zone designation, which will show the base flood elevations in the areas.

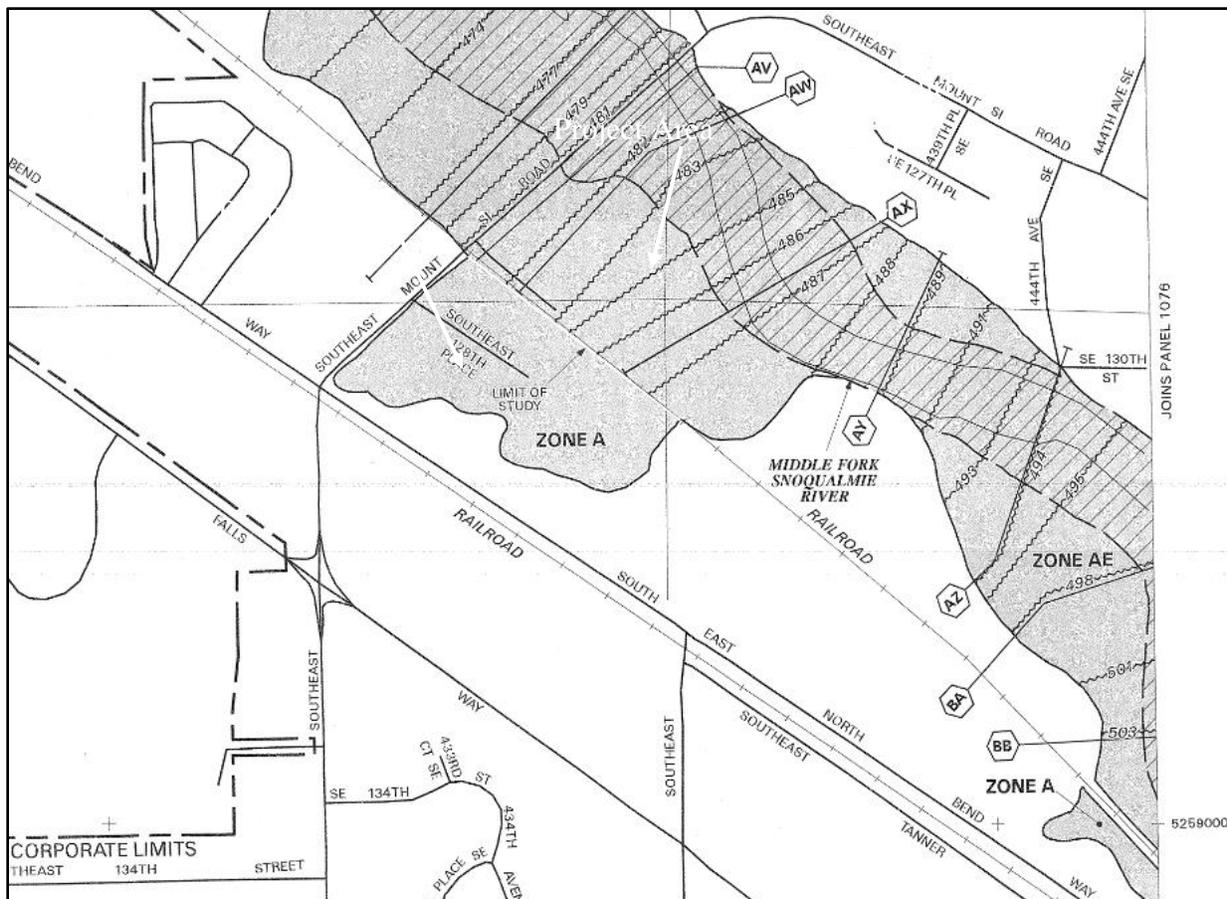


Figure 1. Zone A of Middle Fork Snoqualmie River

1.2 Scope of Work

Described below are the anticipated project tasks to be performed by the WEST team, which includes Mr. Mike Root, LS, for topographic survey.

Task 1 Data Collection and Review

WEST will obtain and review the effective Flood Insurance Study (FIS), Flood Insurance Rate Map (FIRM) panels, and effective hydraulic model. WEST will review the topographic data that will be surveyed and provided by Mr. Mike Root, LS. Mr. Root will be a subconsultant to WEST.

After reviewing the effective model, WEST will conduct a detailed field reconnaissance of the study areas to document field conditions. The field inspection will include estimating hydraulic roughness and other hydraulic parameters for existing conditions.

Task 2 Hydraulic Analysis

The effective study for the Middle Fork Snoqualmie River was conducted using the U.S. Army Corps of Engineers computer program HEC-2. WEST will request the effective HEC-2 model from the FEMA Engineering Library and convert the HEC-2 model to a duplicate effective model using HEC-RAS. An existing conditions model will then be developed based on the current vegetation conditions and new surveyed data along the Snoqualmie Valley Trail and within the current Zone A areas.

The existing conditions HEC-RAS model will be run for the 10-, 2-, 1-, and 0.2-percent annual chance flood events.

Task 3 Floodplain Mapping and FEMA Exhibits

The 1% and 0.2% annual chance floodplain boundaries of the Middle Fork Snoqualmie River will be delineated on a workmap. In addition, an annotated FIRM and a revised flood profile plot will be developed.

Task 4 LOMR Application and Follow-up

WEST will prepare a Letter of Map Revision submittal package. The package will include a hydraulics report, copies of the hydraulic model input and output, completed FEMA certification forms, and the floodplain workmap, flood profile plot, and annotated FIRM showing the revised floodplain in the study area. A CD with hydraulic model files will also be provided.

WEST will submit the LOMR to the City of North Bend (the City) for review. WEST will respond to comments by the City regarding the LOMR submittal. If required for property owner notifications, WEST will also assist in preparing such notifications to property owners. After the City signs MT-2 Form 1 (Overview & Concurrence Form) and all copies of the notifications to property owners are obtained, WEST will submit the LOMR application package to FEMA. WEST will coordinate with FEMA and their Technical Evaluation Contractor to clarify any questions related to the LOMR submittal or to furnish available information not previously submitted.

1.3 Cost Estimate

The total cost to complete these services is expected not to exceed \$24,202. An itemized cost estimate is included below. Work will be billed on a time and materials basis and will not exceed this amount without written permission. Any additional services requested outside the scope will have to be negotiated separately.

| Tasks | WEST Staff | | | | | | Mike | Drafting | Other Costs | Total Costs |
|--|----------------|---------------|-----------------|----------------|----------|------------|----------|----------|-------------|------------------|
| | Vice President | Lead Engineer | Senior Engineer | Staff Engineer | GIS Lead | Technician | Root LS | Tech II | | |
| Rates/hour | \$ 201 | \$ 150 | \$ 131 | \$ 96 | \$ 109 | \$ 72 | \$ 135 | \$ 80 | | |
| 1. Data Collection and Review | | | | | | | | | | |
| (a). Data review and site visit | | 4 | | 3 | 4 | | | | \$ 350 | \$ 1,324 |
| (b). Topographic survey and processing | | | | | | | 28 | 8 | \$ 500 | \$ 4,420 |
| 2. Hydraulic Analysis | 2 | 8 | | 30 | 16 | | | | | \$ 6,226 |
| 3. Floodplain Mapping and FEMA Exhibits | | 4 | | 20 | 12 | | | | | \$ 3,828 |
| 4. LOMR Application and Follow-up | 4 | 12 | | 32 | | 24 | | | \$ 150 | \$ 7,404 |
| Total Hours | 6 | 28 | 0 | 85 | 32 | 24 | 28 | 8 | | |
| Total Cost | \$ 1,206 | \$ 4,200 | \$ - | \$ 8,160 | \$ 3,488 | \$ 1,728 | \$ 3,780 | \$ 640 | \$ 1,000 | \$ 24,202 |

Note: Other costs for Task 1(a) include mileage for a site visit and fee for requesting the effective hydraulic model.
 Other costs for Task 1(b) include GPS rental fee.
 Other costs for Task 4 include reproduction cost and shipping fee.

1.4 Schedule

WEST estimates it will take about twelve (12) weeks from the receipt of a notice to proceed and receipt of the topographic data to complete a draft LOMR package.

1.5 Assumptions

- The current fee for a LOMR request based solely on submission of more detailed data is free of charge. However, during FEMA’s review, if FEMA determines that a fee is required, WEST assumes that the fee in an amount required by FEMA will be paid by the client.
- WEST assumes that Southeast Mount Si Road and South East North Bend Way would not be overtopped during a 1% annual chance flood. Otherwise, the hydraulic analysis needs to be expanded to include overflow paths.

2 About WEST Consultants



(WEST) is a small business firm, providing government and private clients with engineering consulting services. WEST has 55 employees in offices in Bellevue and Vancouver, Washington; Salem and Portland, Oregon; San Diego and Sacramento, California; and Tempe, Arizona. The company offers services on a local, national and international level in water resources, erosion control, scour analysis, sediment transport, wetland hydrology, surface and groundwater, hydrologic modeling, flood control, hydraulics, environmental engineering, water quality and contaminant transport modeling, coastal and estuarine modeling, software sales, computer programming, training, and quality assurance. In addition, we acquired a firm called River measurements, Inc. This now gives us the added ability to conduct hydrographic surveys, survey cross sections, and identify high water marks,

We are staffed by highly qualified engineers and scientists with diversified project experience. WEST's staff has strong academic backgrounds which have enabled the firm to work on projects involving applied research, state-of-the-art technology, and training, as well as traditional methodologies. The personnel at WEST are considered by the engineering community as specialists in the use of many of the computer models in common use.

The size of WEST is an advantage when it comes to managing projects. Because we are small, our senior staff is involved in all phases of the work, from client contact, to project management, to technical work. This close involvement with all aspects of the work ensures that our managers know the status of the project from the client, to the financial, to the technician end. This has proved effective in maintaining client satisfaction, the relatively low cost of our studies, and the technical excellence we provide.

WEST works for FEMA Region 10 and for many U.S. Army Corps of Engineers Districts, and we have numerous Task Orders through these IDIQ contracts. Many of these Task Orders require that we prepare and execute QA/QC plans following specific Corps' guidelines. These plans commonly include a memo or closure from the QA/QC lead at the end of the study. At project startup, we often prepare a comprehensive QA/QC plan, which includes (1) a thorough review of the proposed project approach, (2) review of the model development, calibration and application, and (3) a review of model documentation, including progress memos and report.

WEST completes projects efficiently and on-time. We can perform even when given short delivery times; for example, we started and completed a project within two weeks for Snohomish County Public Works in order to meet the County's schedule requirements for the Home Acres Road rehabilitation project.

Our clients have been very satisfied with our ability to supply a quality product, meet budgets, and deliver on time:

"The purpose of this letter is to acknowledge the excellent work of West Consultants in the Sumas River flood study in Nooksack and the surrounding area, which was funded in part

through Ecology's Flood Control Assistance Account Program (FCAAP). The professionalism displayed by WEST throughout this project was exceptional, and your adherence to the FEMA Guidelines and Specifications, as well as your adherence to a tight schedule in the Scope of Work, was remarkable. These factors will make it possible to seamlessly convert the study to new floodplain delineations for the City and the County. We are very impressed by the work of WEST Consultants on the Sumas river project, and would not hesitate to become involved in similar projects with your firm in the future. Please let all those in your firm who worked on this project know how satisfied we are with this work." Charles L. Steele, Floodplain Management Specialist (retired), Department of Ecology.

"WEST Consultants, Inc. performed the requested engineering services in an outstanding manner... WEST's project staff was technically competent, professional, and very cooperative in terms of satisfying all of the delivery order requirements as well as completing the work on schedule." David Cozacos, L.A District, Corps of Engineers.

3 Project Staffing

WEST Consultants is a diverse and talented water resources engineering firm offering recognized specialists in floodplain hydrologic and hydraulic studies. For this LOMR study, we propose a small but very experienced team that consists of engineers with extensive experience in FEMA floodplain hydraulic studies. In addition, we bring Mr. Mike Root, LS, as our land surveyor. Mr. Root has 38 years of experience of surveying. He lives in North Bend.

Henry Hu, Ph.D., P.E., P.H., D.WRE – Project Manager

Dr. Hu is a vice president and a senior project manager with WEST Consultants. He has more than 22 years of experience in hydrologic and hydraulic analyses. He is an American Institute of Hydrology certified Professional Hydrologist. He manages all the hydrologic reviews and analyses performed in the Bellevue office as part of various flood insurance studies for FEMA, Region 10, and has consistently been praised by FEMA for his solid and innovative approaches to system hydrology.

Dr. Hu's hydraulics and hydrology project experience includes many riverine and alluvial fan flood insurance studies and LOMR/CLOMR studies for Federal Emergency Management Agency (FEMA), local communities, and developers. He is an ASFPM Certified Floodplain Manager (CFM). He recently led QA/QC on the Wide Hollow Creek FIS, Yakima County, WA, and City of Gresham FIS, Oregon. He recently successfully obtained LOMAs/LOMRs for Padden Creek in Whatcom County, WA, Mason Creek in Canyon County, Idaho, and Little Soos Creek in Covington, WA. He managed a county-wide Digital Flood Insurance Rate Map (DFIRM) Production study along 37 miles of the Boise River, Indian Creek, and Mason Creek in Canyon County, Idaho. This is a challenging study that involves modeling and mapping of shallow, flat, and very wide floodplains and estimation of peak discharges with lack of sufficient gaging data and complex interaction between canals and streams. He recently completed several FLO-2D zero-rise analyses in support of the new football field and gymnasium addition to Mt. Si High School and rebuild of the high school and a few development projects in a FEMA regulated floodway in the City of Snoqualmie, Washington.

Dan Eggers, P.E., Lead Hydraulic Engineer

Mr. Eggers is a senior hydraulic engineer with WEST Consultants, Inc. He has an educational background in hydraulics, hydrology, and sediment transport. In his nineteen years of work experience he has performed numerous hydraulic studies, hydrologic simulation modeling of watersheds, and sediment erosion and deposition modeling. He has performed bridge scour evaluation studies and bridge replacement studies for the Washington State Department of Transportation (WSDOT), Oregon Department of Transportation (ODOT), the California Department of Transportation (CALTRANS), the Idaho Transportation Department (ITD), the Alaska Department of Transportation and Public Facilities (ADOT&PF), the Federal Highway Administration (FHWA), the USDA Forest Service, several county and municipal governments in Washington and Oregon, and private industry. Mr. Eggers has performed field reconnaissance, delineated watershed boundaries, performed flood frequency analyses,

performed HEC-RAS modeling of bridge reaches, performed scour and revetment calculations, and produced detailed drawings using AutoCAD for use in bridge scour evaluation studies.

Mr. Eggers' extensive hydraulic modeling experience has led to his assignment as a hydraulic engineer for numerous detailed FEMA flood insurance studies (FIS) including current and prior studies in Umatilla County, OR, Morrow County, OR, Clatsop County, OR, Canyon County, ID, Shoshone County, ID, Spokane County, WA, and Yakima County, WA. Mr. Eggers was the production manager for the digitization of the Flood Insurance Study (FIS) for the community of Blaine County, ID. Mr. Eggers has also performed hydrologic, stream flow, and land use assessments for the Lower Columbia River Fish Recovery Board as part of the Level I Technical Assessment for Water Resource Inventory Area 27 and 28 (Washington). He is currently working with Yakima County on two flood insurance studies and the Shaw Creek high flow bypass flood reduction study.

Keelan Jensen, Hydraulic Engineer

Mr. Jensen has been working at WEST for over 2 years, and has worked on a variety of hydraulic and hydrologic projects throughout Washington. During this time he has worked primarily with HEC-RAS and SRH-2D models. He has developed several HEC-RAS models for the Olympic Peninsula and the White, Naches, and Stillaguamish Rivers for the purposes of improving aquatic organism passage, determining flood impacts, and determining bridge scour. He has also developed and run several SRH-2D models on the Chehalis and Wynoochee Rivers for the purpose of analyzing flood impacts, geomorphic responses, flood extents, and scour potential. He has also participated in the CWMS modeling of the Skagit basin, including the development of basin hydrology and reviewing the river hydraulics.

Sarah Bengtson, GIS Analyst

Ms. Bengtson is a Geographic Information Systems Group Leader with WEST Consultants, Inc. She has a solid educational background in geography, GIS, and drafting and more than nine years of professional experience as a GIS Specialist. She has experience with a number of computer modeling programs, including ArcGIS, ArcView, Floodmap Desktop, HEC-RAS, HEC-GeoRAS, HSPF, and AutoCAD. Her Hydraulics, Hydrology, and GIS application experience includes pre-processing hydraulic data for model input, quality control and data management of LiDAR information, post-processing hydraulic model results, creating and manipulating DEMs and data layers, and digital floodplain mapping. Ms. Bengtson has also performed field reconnaissance, surveying, and gage data collection. She completed countywide DFIRM conversion and remapping projects for five counties in the Pacific Northwest, including Blaine County, ID, and Umatilla County, OR. Ms. Bengtson's other experience includes a FEMA FIS redelineation project for approximately 180 miles of streams in Snohomish County, WA. She also has experience preparing data as part of the FEMA Letter of Map Change (LOMC) process. This experience includes detailed riverine mapping based on new HEC-RAS analyses, creating topographic workmaps and annotated FIRMs, and revising Floodway Data Tables and flood profiles for a CLOMR for the City of Richland, WA and a LOMR for the City of Medford, OR.

Mike Root, P.L.S., Surveyor

Mr. Root has 38 years of experience in a broad variety of surveys. He plans and directs field surveys, processes and analyzes survey data, and composes and drafts this information in graphic form. His role for the past 25 years was as project manager for various public works construction and design mapping projects in the Northwest.

4 References

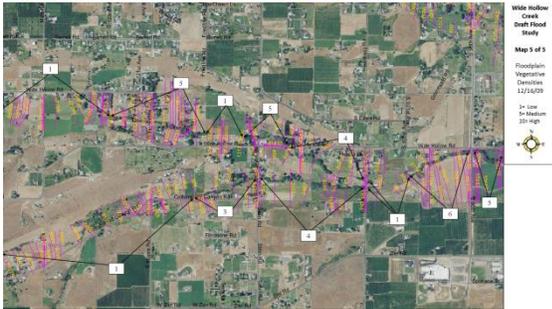


recommends that you contact the following individuals to learn more about the depth of our experience and quality of our work.

| Client | Contact Number | Project |
|---|----------------|---|
| Tracy Schwartz, Flood Risk Management Program Manager, Walla Walla District, Corps of Engineers | (509) 527-7522 | Various FEMA flood insurance studies and Snake River hydraulic modeling |
| Dan Katz, Hydraulics Section Chief, Seattle District Corps of Engineers | (206) 764-3271 | Chehalis Hydraulic Engineering, Columbia River Treaty hydraulic modeling, and other various studies |
| Julie Heilman, State Hydraulic Engineer, Washington State DOT | (509) 577-1703 | Various WSDOT hydraulic and scour analyses |
| Terry Keenhan, Water Resources Division Manager, Yakima County Flood Control and Zone District | (509) 574-2311 | Ahtanum, Wide Hollow, and Cowiche Creeks and Upper Naches FIS and mapping |

5 Project Experience

5.1 Experience with FEMA Flood Insurance Studies and Map Revision Requests



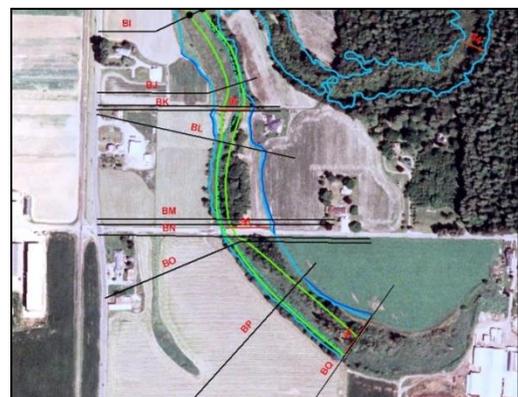
Wide Hollow Creek Flood Insurance Study. WEST Consultants recently completed a Flood Insurance Study of over 60 miles of creeks in the Wide Hollow Creek watershed and the upper Ahtanum Creek watershed in Yakima County, under an FCAAP grant from the Department of Ecology. The hydrologic analysis was particularly challenging because of a lack of streamgauge data and because the USGS regional

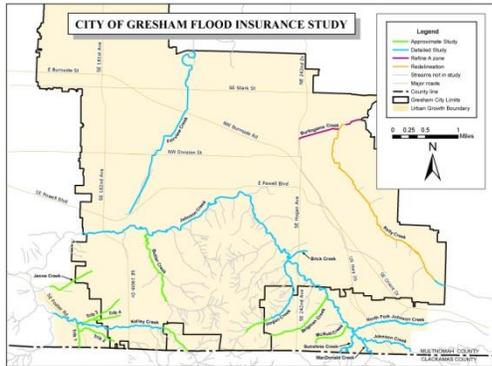
regression equations did not reflect the unique basin hydrology. Ultimately, we developed new, local regression equations that included the spatial distribution of rainfall. We developed an HEC-RAS steady-state hydraulic model that included numerous interconnected reaches, overflows, and structures (bridges and culverts). Once the hydrologic and hydraulic studies were complete, we mapped the resulting floodplains and floodways to FEMA standards.



Ahtanum Creek and Cowiche Creek Flood Insurance Studies. WEST Consultants is currently working on two Flood Insurance Studies of about 86 miles of creeks in the Ahtanum Creek watershed and about 16 miles of Cowiche Creek in Yakima County. We are developing HEC-RAS steady-state hydraulic models that include numerous interconnected reaches, overflows, and structures (bridges and culverts). Once the hydrologic and hydraulic studies are complete, we will map the resulting floodplains and floodways to FEMA standards.

Sumas River Flood Insurance Study. A FEMA DFIRM Flood Insurance Study along 6.5 river miles of the Sumas River in Whatcom County, Washington, was recently conducted for the City of Nooksack with funding from an FCAAP Grant through the Washington State Department of Ecology and support from Whatcom County. WEST Consultants was responsible for the field reconnaissance, topographic data development, hydrologic analyses, hydraulic analyses and digital floodplain mapping. The hydrologic analysis considered a local-area regional regression analysis, but ultimately the USGS regional regression equations were used. The hydraulic model was developed using HEC-GeoRAS.





City of Gresham, OR, Flood Insurance Study. A FEMA Flood Insurance Study is being conducted along approximately 30 stream miles of 18 streams in the City of Gresham, in Multnomah County, OR. The study will include new detailed AE Zones, new approximate A Zones, and refinement of existing AE Zones using new topography. New hydrology, using HEC-HMS models, will be developed for the Johnson Creek, Kelley Creek and Fairview Creek watersheds. Ground surveys for approximately 200 cross sections and 90 structures have been completed using a

combination of the latest RTK GPS and Optical Total Station equipment. This allowed for all of the survey data to be quickly and easily geo-referenced to existing National Geodetic Survey (NGS) monuments, resulting in easy integration with recently acquired digital 2-foot contour mapping and aerial orthophotography. HEC-RAS 4.0 is being used to perform the hydraulic analysis. Water surface profiles for the 10-, 50-, 100-, and 500-year flood events as well as the 100-year floodway are being determined. All geometry data within the hydraulic model will maintain its geo-referencing so that the output data can be post-processed using automated mapping and display techniques in ArcGIS. After thorough in-house review, the completed products (including H&H models, flood profiles, floodway data tables, work maps, DFIRMS, FIS text updates, FBS audit results, and all backup data) will be submitted to FEMA as a Physical Map Revision (PMR) for incorporation into the Flood Insurance Study for Multnomah County and Incorporated Areas

FEMA Region 10 Flood Insurance Studies. WEST staff is developing hydrology and hydraulic modeling for a variety of Flood Insurance Studies in FEMA Region 10 (Pacific NW). FEMA studies totaling more than 1,000 stream miles and \$5 million include:



- Chester Creek, Spokane County, WA
- Multiple streams in Clark County, WA
- Seaside, Clatsop County, OR
- Multiple streams in Morrow County, OR
- Multiple streams in Umatilla County, OR
- Boise River, Mason Creek and Indian Creek, Canyon County, ID
- Kellogg, Shoshone County, ID
- Umatilla County, OR, including Umatilla Reservation and alluvial fan study
- Multiple rivers in Tillamook County, OR



Snohomish River Flood Insurance Study and Conditional Letter of Map Revision.

WEST completed a Flood Insurance Study (FIS) with the Seattle District Corps of Engineers and subsequently performed additional analyses directly for Snohomish County. The study was conducted for approximately twenty miles of the Snohomish River between the mouth, near the City of Everett, and the USGS stream gaging station, near Monroe, using both UNET (the Corps unsteady flow model before it was incorporated into HEC-

RAS) and HEC-RAS. The model, consisting of over 200 cross-sections and 17 bridge sections, was constructed with a downstream tidal boundary, an upstream boundary hydrograph, and inflows from the Pilchuck River. The lower portion of the model contained numerous reaches and split flows including Ebey Slough, Steamboat Slough, and Union Slough. Calibration efforts included simulating the 1990 levee breaching event. A floodway was developed using both a “density fringe” and “floodway fringe” in accordance with existing FEMA guidelines, and through collaboration with representatives from FEMA, Snohomish County, and the affected cities.

Chester Creek, Washington, Flood Insurance Study.

For this FEMA Flood Insurance Study, WEST Consultants extended the existing HSPF model of the basin and its contributing areas. The model included a subbasin not previously modeled, and the inclusion of hundreds of dry wells that significantly reduce flood flows in this highly infiltrating system. The model was also refined to simulate infiltration conditions relating to frozen ground, and the results used as input to a comprehensive HEC-RAS model of 7 miles of Chester Creek and its tributaries.



Covington LOMR Study. To assist a developer to plan a development outside of the floodplain of Little Soos Creek in Covington, King County, WEST Consultants is conducting a detailed study to replace the “approximate A zone” with a more accurate floodplain. We are using the hydrologic model, HSPF, to develop flood flows, and HEC-RAS to perform the hydraulic analysis and preliminary mapping. The results will be mapped to FEMA mapping standards and the study presented to FEMA as a LOMR.

Other FEMA Letter of Map Revision Studies. WEST Consultants routinely assists property owners and developers to perform hydraulic analyses and prepare various types of FEMA map revision requests. We often evaluate site conditions and our Clients’ needs and constraints and work with the communities to develop a best map revision approach. We effectively coordinate with the communities and FEMA to address review comments and successfully have map revision requests approved. Some of our recent letter of map revision studies include:

- LOMR, Snake River, Port of Walla Walla
- LOMR, Bear Creek, Oregon DOT

- CLOMR-F, Nooksack River, Ferndale Town Center
- LOMR, Padden Creek in the City of Bellingham
- LOMR, Mason Creek in the City of Nampa, Idaho
- LOMA, Little Soos Creek, Soos Creek Sewer and Water District, Covington, WA

5.2 Related Experience

Snoqualmie River Zero-Rise Hydraulic Analyses and Modeling.

Since 2004, WEST Consultants has provided hydraulic engineering services to support developments in the Cities of Snoqualmie and North Bend for a variety of clients. We performed a FLO-2D modeling study of the Snoqualmie River to support the design and construction of the Mt. Si High School Athletic Field and Gym Project. We performed a zero-rise analysis for the City of Snoqualmie on its lift station design. We helped about a dozen of property owners meet the requirements on floodplain management. We are currently performing zero-rise modeling to support the Mt. Si High School Rebuild Project.

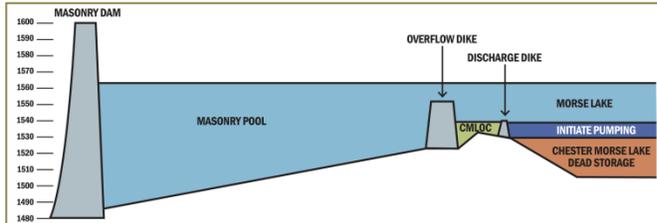


Balfour Village Alluvial Fan Hazard Assessment. WEST Consultants conducted an evaluation of a proposed development near Kendall in Whatcom County. The development was proposed near several alluvial fans. The study assessed the threat from floods generated in the fan chutes, and recommended mitigation measures, where appropriate.

Levee Certification - Lexington Flood Control Zone District - Cowlitz County, Washington.

The levee protecting the Lexington Flood Control Zone District (LFCZD) is owned and operated by Cowlitz County. WEST Consultants, Inc. (WEST) worked as the hydraulic specialty subcontractor for certification of the LFCZD levee. WEST Consultants, Inc. provided an evaluation of levee embankment protection, computed levee freeboard and supported the geotechnical evaluation of the levee performance and provided an interior drainage analysis. Following site reconnaissance to field-check the existing embankment protection, a steady state HEC-RAS hydraulic model was used to provide hydraulic parameters necessary for the evaluation of the embankment protection. The existing embankment protection was evaluated for the base flood (100-year flood) event, expected wind and wave action, ice loading, impact of debris, and an extended duration of flooding.

Chester Morse Lake Outlet Channel Hydraulic and Sediment Transport Modeling. Located in the upper Cedar River watershed, the Morse Lake Pump Plant (MLPP) Project will replace Seattle Public Utilities’ (SPU’s) existing floating pump plants, which are beyond their expected service life, with a reliable floating pump system, and will restore and stabilize the conveyance capacity of the Chester Morse Lake Outlet Channel (CMLOC) so that SPU can continue to meet its current water supply and environmental commitments.



The MLPP Project consists of a floating pump plant, pipelines, channel improvements, and other features. WEST Consultants was contracted as a sub-consultant to URS Corporation to conduct hydraulic design of the CMLOC, sediment transport modeling, bridge scour potential, and hydraulic design of an energy dissipator.

The hydraulic and sediment transport modeling was conducted using HEC-RAS, which provided results of the short- and long-term CMLOC performance in terms of bed erosion and deposition.

SR 107/4 Bridge and Chehalis River Flood Authority Flood and Scour Mitigation Analysis – Grays Harbor County, WA. The State Route 107 (SR107) Bridge crosses the Chehalis River just downstream of the City of Montesano, in Grays Harbor County, WA. Currently, the



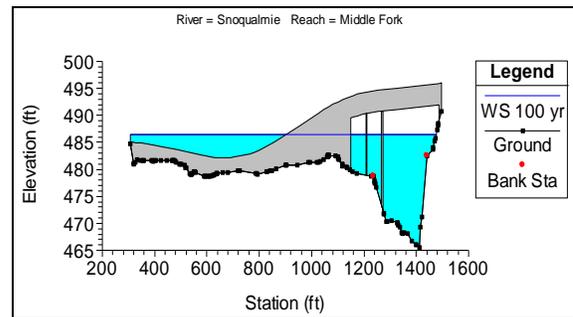
Chehalis River takes a very sharp bend to the right (viewed downstream) just upstream of the bridge. While the hydraulics of the Chehalis River currently poses a threat to the SR107 Bridge and its south approach, the river is relatively stable and the bridge is inspected after major flood events.

WEST Consultants developed a 2D SRH-2D hydrodynamic model of a reach of the Chehalis River extending from upstream of the meander bend to just upstream of the confluence of the Chehalis and Wynoochee Rivers. We used an existing 1D HEC-RAS model of the Chehalis River (also developed by WEST Consultants during other studies)

to develop upstream flow and downstream stage boundary conditions for several historical events and the 100-year flood. The model was used to estimate the scour potential of the bridge for the various morphology scenarios, using HEC-18 guidelines, to calculate shear stress and stream power for bank erosion, and to assess how the various alignments alter the flow characteristics through the bridge, using particle tracking.

Bridge Hydraulic Design and Scour Assessment, King County. WEST Consultants has conducted a large number of bridge hydraulic design and scour assessment projects in King County. The projects have included new bridge construction, bridge replacement, and scour mitigation. This experience includes bridge construction projects involving both small streams and major rivers within the county. The services provided by WEST have included field reconnaissance, hydrographic survey, geomorphic evaluation, hydrologic analysis, hydraulic modeling, scour potential evaluation, and erosion protection design. Recent relevant project experience includes the following projects:

- Preston Bridge, Raging River
- Harris Creek Bridge
- Mt. Si Bridge, Middle Fork Snoqualmie River
- Elliot Road Bridge, Cedar River
- Tolt Hill Road Bridge, Snoqualmie River
- Meadowbrook Road Bridge, Snoqualmie River
- NE 124th St Bridge, Snoqualmie River
- Edgewick Road Bridge, South Fork Snoqualmie River
- Clough Creek Bridge, Uplands Reserve Development
- Stream 0478A Bridge, Uplands Reserve Development



6 Staff Resumes

HENRY (HAIMING) HU, Ph.D., P.E., P.H., CFM, D.WRE



Vice President and Senior Project Manager

Dr. Hu is a Senior Hydraulic Engineer with over 22 years experience in the areas of hydrology, flood insurance studies, hydraulics, and sediment transport.

Dr. Hu's hydraulics and hydrology project experience includes many riverine and alluvial fan flood insurance studies and LOMR/CLOMR studies for FEMA, local communities, and developers. He is Certified Floodplain Manager (CFM). He recently worked on two floodplain studies in Ellensburg and Arlington, and is providing technical support and reviews for the Port of Centralia and City of Spokane Valley. He led QA/QC on the Wide Hollow Creek FIS, Yakima County, WA, and City of Gresham FIS, OR. He recently successfully obtained LOMRs/CLOMRs for Padden Creek in Whatcom County, WA, Mason Creek in Canyon County, Idaho, Nooksack River in City of Ferndale, WA, and Fortuna Wash in Yuma, AZ. He worked with a developer, King County, and FEMA on the White River floodplain analysis using FEMA Levee Analysis and Mapping Procedures. He managed a county-wide Digital Flood Insurance Rate Map (DFIRM) Production study along 37 miles of the Boise River, Indian Creek, and Mason Creek in Canyon County, Idaho. This is a challenging study that involved modeling of shallow, flat, and very wide floodplains and complex interaction between canals and streams. He recently completed a FLO-2D zero-rise analysis in support of a new football field in a FEMA regulated floodway in the City of Snoqualmie, WA. Other representative projects include a review of a zero-rise analysis of the Boise River for the City of Boise, a CLOMR study for Agua Caliente Wash in Tucson, Arizona, which involved levee and dike failure scenarios, and a Flood Insurance Map Revision study within the Los Angeles County Drainage Area Project, which has relieved 50,000 property owners in 14 communities of up to \$33 million in annual flood insurance costs.

Dr. Hu is a leading hydrologic engineer. His specific hydrologic experience includes large-scale watershed modeling, flood frequency analyses, probable maximum flood, desert hydrology, and channel breakout flow routing through urbanized floodplains. He recently conducted detailed hydrologic analyses for Ahtanum, Wide Hollow, and Cowiche Creeks and the Naches River in Yakima County that required extensive analytical analyses, collection of background information and consideration of unique local watershed characteristics, and coordination through Yakima County, USBR, and FEMA. He developed a set of local flood frequency regression equations for the Indian and Mason Creek basins in Idaho. Other representative projects include a research project for recommending improved highway design methods for desert storms for California Department of Transportation. He recently applied an innovative hybrid regression method to develop a set of flood frequency regression equations to reflect significant effects from sporadic thunderstorms over small and ungaged basins in eastern Washington and north central Oregon. He also applied the same approach to California's desert regions. The equations he developed are now adopted by Caltrans in the current Highway Design Manual.

In the past eight years, he has managed and conducted hydrologic analyses with different techniques for dozens of streams in the Pacific Northwest as part of various flood insurance studies for FEMA, including rivers and streams in Morrow County, OR, Yakima County, WA, Canyon County, ID, Bannock County, ID, Bonner County, ID, and Tillamook County, OR.

Dr. Hu has written more than forty professional papers in the fields of hydrology, hydraulics, and sediment transport. He was the past Chair of Northwest Regional Floodplain Management Association.

REGISTRATION

- Professional Civil Engineer, WA, CA, AZ, HI, and ID
- Professional Hydrologist, American Institute of Hydrology
- Certified Floodplain Manager, ASFPM
- Diplomate, American Academy of Water Resources Engineers

EDUCATION

- Ph.D., Civil Engineering, Hydraulics, University of Houston
- M.S., Hydraulics and River Dynamics, Wuhan University, China
- B.S., Hydrology and River Mechanics, Wuhan University, China

PROFESSIONAL AFFILIATIONS

- American Society of Civil Engineers
- American Society of Military Engineers
- International Association of Hydrological Sciences
- International Association for Hydro-Environment Engineering and Research
- Northwest Regional Floodplain Management Association



DANIEL J. EGGERS



Senior Engineer

Mr. Eggers is a hydraulic engineer with WEST Consultants, Inc. He has an educational background in hydraulics, hydrology, and water quality. In his 18 years of work experience he has performed numerous hydraulic studies, hydrologic simulation modeling of watersheds, and sediment erosion and deposition modeling. He has experience with the following hydraulic, hydrologic, and sediment computer modeling programs: HEC-RAS, HEC-2, HEC-HMS, HEC-ResSim, HEC-6, HEC-FFA, HSPF, FEQ, and IHA. Mr. Eggers also has experience applying the ArcGIS pre- and post-processing capabilities of HEC-GeoRAS and HEC-GeoHMS.

Mr. Eggers' extensive experience with the HEC-RAS model has led to his performing hydraulic analyses for several FEMA Flood Insurance Studies. These include: the Necanicum/Neawanna River system and tributaries in Clatsop County, OR, Willow Creek and tributaries in Morrow County, OR, South Fork Walla Walla River in Umatilla County, OR, Indian Creek, Mason Creek, and the Boise River in Canyon County, ID, Ahtanum Creek, Cowiche Creek, and the Naches River in Yakima County, WA, and Chester Creek in Spokane County, WA. Additionally, Mr. Eggers was involved in remapping the FEMA 100 and 500-year floodplains for hundreds of river miles in Snohomish County, WA and Blaine County, ID. Mr. Eggers has also performed hydrologic analyses for FEMA studies. Specifically, he conducted the hydrologic analysis of the Upper Naches River basin in Yakima County, WA. This included examining the regional regression equations developed by the USGS, performing flood frequency analyses of streamgage data in the basin, flood routing through reservoirs, and transferring of peak flows from nearby basins.

In his role as a hydraulic engineer, Mr. Eggers has assisted with bridge scour evaluation studies and bridge replacement studies for the Washington State Department of Transportation (WSDOT), Oregon Department of Transportation (ODOT), the California Department of Transportation (CALTRANS), the Idaho Transportation Department (ITD), the Alaska Department of Transportation and Public Facilities (ADOT&PF), the Federal Highway Administration (FHWA), the USDA Forest Service, several county governments in Washington and Oregon, and private industry. Mr. Eggers has performed field reconnaissance, delineated watershed boundaries, performed flood frequency analyses, performed HEC-RAS modeling of bridge reaches, performed scour and revetment calculations, and produced detailed drawings using AutoCAD for use in bridge scour evaluation studies.

Mr. Eggers has performed hydraulic modeling of the Chehalis River basin in Thurston, Lewis, and Grays Harbor County for a general investigation study for the US Army Corps of Engineers and also for studies for the Chehalis River Basin Flood Authority. The modeling included over 100 miles of river along the mainstem Chehalis River as well as over one hundred miles of river along tributaries to the Chehalis including the Wynoochee, Satsop, Skookumchuck, Newaukum, and South Fork Chehalis Rivers and many other smaller tributaries.

REGISTRATION

*Professional Civil Engineer
Washington No. 43170*

EDUCATION

*B.S. (Civil Engineering
with Environmental
Emphasis) Seattle
University*

OTHER EDUCATION

*HEC-RAS Training
Course sponsored by
ASCE, August 1997*

*HEC-6 Training Course,
May 2000*

*Advanced HEC-HMS
Training Course,
October 2001*

*Advanced HEC-RAS
Training Course, March
2013*



Keelan M. Jensen, E.I.T.



REGISTRATION

- *Engineer in Training, E.I.T. Utah*

EDUCATION

- *M.S., Civil Engineering (Water Resources), Brigham Young University, 2014*
- *B.S., Civil Engineering, Brigham Young University, 2011*

PROFESSIONAL AFFILIATIONS

- *American Society of Civil Engineers(ASCE)*

Hydraulic Engineering Staff

Keelan Jensen joined WEST Consultants, Inc. in 2014 after completing an M.S. in Civil Engineering at Brigham Young University. Mr. Jensen has been trained in and has experience with several computer programs used in hydraulic and hydrologic modeling, including HEC-RAS, HEC-HMS, SRH-2D, GSSHA, MODFLOW, and FishXing. He also has experience and training in the use of ArcGIS, and the Aquaveo suite of programs, encompassing GMS, SMS, and WMS.

Since joining WEST, Mr. Jensen has worked on a variety of projects, encompassing both hydraulic and hydrologic modeling. Recently, Mr. Jensen developed a 2-dimensional model on the Chehalis River using SRH-2D, which was used to assess scour potential of a bridge. He also recently assisted in the development of HEC-RAS models for deployment in CWMS models for the USACE Mobile district. His work included developing new models from existing models and new data, and ensuring that these models met the requirements to run within the CWMS system. He also used the results of these models to assist in the development of HEC-HMS and HEC-ResSim models for the same systems.

While at Brigham Young University, Mr. Jensen worked as a research assistant for Dr. Rollin Hotchkiss. His graduate research investigated fish passage assessment using adjusted velocity as the primary comparison metric. Velocity profile data was used to determine the reduction in velocity that occurs near the boundaries of culverts. This data was then used to create an equation that could be used to predict how much velocity reduction would occur based on the culvert and fish properties. This equation was tested against data collected in the field and in a laboratory setting. Finally, the equation was used to determine how much of an impact it could have in fish passage assessment.

Mr. Jensen was involved in several other research projects while a student at Brigham Young University. He participated in field measurements on two different rivers, including bathymetric surveys and flow measurement. These surveys were used to create two dimensional models using the SRH-2D program. These models were in turn used to investigate physical changes on Hobble Creek, which was recently restored for fish habitat and spawning, and to evaluate restoration design option on Soldier Creek. He also was a primary researcher on a project involving subsidence due to mining and the mitigation of its environmental impacts. As part of this project, he developed a user friendly GIS interface to allow easy access to the hydrologic data collected by mining companies. The results of this project were presented and discussed at the Utah Coal and Energy Symposium.

Mr. Jensen has also been involved in several water resource projects in Mexico. He helped perform a hydrological analysis of an urban neighborhood in the town of Guadalupe, Zacatecas using HEC-HMS, and he helped design a storm water drainage system based on the analysis using SWMM. He also worked on a hydrological analysis of a developing watershed near the town of Guanajuato, using both HEC-HMS and GSSHA.



SARAH BENGTON



GIS Analyst

Ms. Bengtson is a Geographic Information Systems Group Lead with WEST Consultants, Inc. She has a solid educational background in geography, GIS, and drafting and nine years of professional experience as a GIS Analyst. She has experience with a number of computer modeling programs, including ArcGIS, Floodmap Desktop, HEC-RAS, HEC-GeoRAS, HEC-GeoHMS, FIA, HSPF, AutoCAD, and SMS. Her Hydraulics, Hydrology, and GIS application experience includes pre-processing hydrologic and hydraulic data for model input, quality control and data management of LiDAR information, creating and maintaining geodatabases, developing metadata, post-processing hydraulic model results, creating and manipulating DEMs and data layers, and digital floodplain mapping. She has educational experience utilizing Python programming for specific application within GIS. Ms. Bengtson has also performed field reconnaissance, surveying, and gage data collection.

EDUCATION

B.A. (Geography, GIS Concentration) University of Washington, Seattle, WA
M.A., GIS, University of Washington, Seattle, WA

OTHER EDUCATION

AutoCAD-LT 2007 Certificate Program SCCC, 2007

PROFESSIONAL SOCIETIES

Urban and Regional Information Systems Association (URISA)
Association of American Geographers (AAG)
North American Cartographic Information Society (NACIS)

Ms. Bengtson was the GIS Lead in the effort to map FEMA model results at NWS forecast points in the Chehalis River Basin as part of a flood warning systems project with the Flood Authority. The inundation mapping was linked to the new flood information website WEST developed for the Flood Authority. She was also the GIS lead for a USACE Seattle District General Investigation study of the Chehalis River Basin to expand their existing HEC-RAS model from Montesano to Pe Ell for use in a range of investigations including restoration and flood control studies. Additionally, she worked closely with the National Weather Service to provide flood warning maps of the Chehalis River Basin in a format which meets NWS standards. For this effort, she utilized ArcGIS ModelBuilder to design workflows and automate processes.

Ms. Bengtson completed a number of Flood Insurance Studies for FEMA Region 10, including redelineation of approximately 180 miles of streams in Snohomish County, WA, and countywide DFIRM conversion projects and flood insurance studies for counties in Oregon and Idaho. This work entailed extensive data collection and manipulation, remapping effective FIS results based on new contour data and aerial imagery as well as developing new detailed riverine mapping based on updated HEC-RAS analyses, compiling flood hazard data into FEMA-compliant geodatabases, and conducting floodplain mapping audits. She is currently GIS lead for Flood Insurance Studies and Flood Risk Mapping of two watersheds in Yakima County, WA.

Ms. Bengtson is also currently the GIS lead on multiple CWMS projects in the Southeastern U.S. for the Corps' MMC group. She is coordinating the effort to develop HEC-RAS and HEC-HMS model geometry and generate inundation maps using RAS Mapper. Additionally, Ms. Bengtson is conducting impacts analysis using HEC-FIA, which facilitates the assessment of flood disaster impacts by estimating structure damage, agricultural flood damage, life loss, area inundated, number of structures inundated, and project benefits.

Ms. Bengtson's other experience includes leading the effort to develop hydraulic model geometry, using HEC-GeoRAS, for more than 500 river miles along the Columbia River and several major tributaries as part of the Columbia River Treaty. Results were processed using HEC's RAS Mapper, and several floodplain maps were developed. Her hydrologic data collection and modeling experience includes HSPF hydrology model development for Salmon Creek in Pierce County, WA, and preparing HEC-HMS inputs for determining the Probable Maximum Flood at Libby Dam using HEC-GeoHMS.



Michael C. Root

PO Box 541, North Bend, WA 98045

Home Phone 425-888-9509

Cell Phone 425-766-7642

E-mail mroot49@yahoo.com

Objective To offer a lifelong experience of surveying, business development and client services to an established survey/ engineering company.

Experience **Survey Department Manager / Project Manager**

Tetra Tech / INCA

Bellevue, WA

October 1990 to December 2015

My role for the past 25 years was as project manager for various public works construction and design mapping projects in the northwest for INCA Engineers, Inc. (purchased by Tetra Tech Inc. in 2008). In 2007 I became the Department Manager responsible for operations and business development. Those duties also involved equipment purchase, software acquisition, personnel hiring and training to provide quality survey team to the clients in the Puget Sound region.

A major portion of my work was to scope and write proposals for major design build construction projects along with many design mapping and boundary projects. I have always believed in strong client relations and providing the highest quality of work for our clients.

Survey Party Chief

Horton Dennis and Associates

Kirkland, WA

December 1982 to October 1990

Primary position was as a survey crew party chief performing construction, boundary and topographic support for major public works projects.

Survey Crew

Jones and Associates, Stepan and Associates, Triad, OK Consultants, Petty Ray, Western Geophysical. Keane and Associates

April 1978 to December 1982

Performed work as a chainman, instrument person and party chief for various survey companies within Washington and Alaska

Project List

- I-5 Everett HOV Design Build- Atkinson Construction 1.3 million
- I-405 Bellevue Braids -Atkinson Construction 900 Thousand
- I-405 Bellevue to Lynnwood Toll Project – Flatiron Construction 1.5 Million
- King County WLRD on call survey - 500 K
- NRCS National IDIQ - 3 years - 1 million

Education **Associates Degree / Forestry Technician**

Shoreline Community College, City of Shoreline, WA

Graduated 1974

Upon graduation became employed by Washington State Department of Natural Resources as a field technician responsible for section corner recovery, section line blazing and establish bearing trees.

Licensing

- Washington State Professional Surveyor 1995 # 32507
- Oregon State Professional Surveyor 1997 # 2792

Software

I am familiar with the uses of AutoCAD, Microstation/ InRoads , Starnet and Microsoft office

References

Tetra Tech, Inc.

Chuck Purnell 425-635-1000

Lake haven Utility District

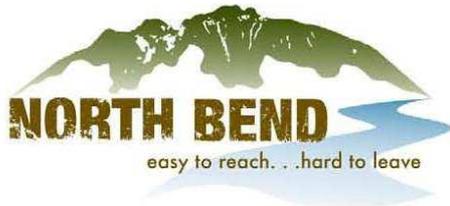
Wes Hill

253-946-5440

Atkinson Construction

Al Gonzales

206-730-9171



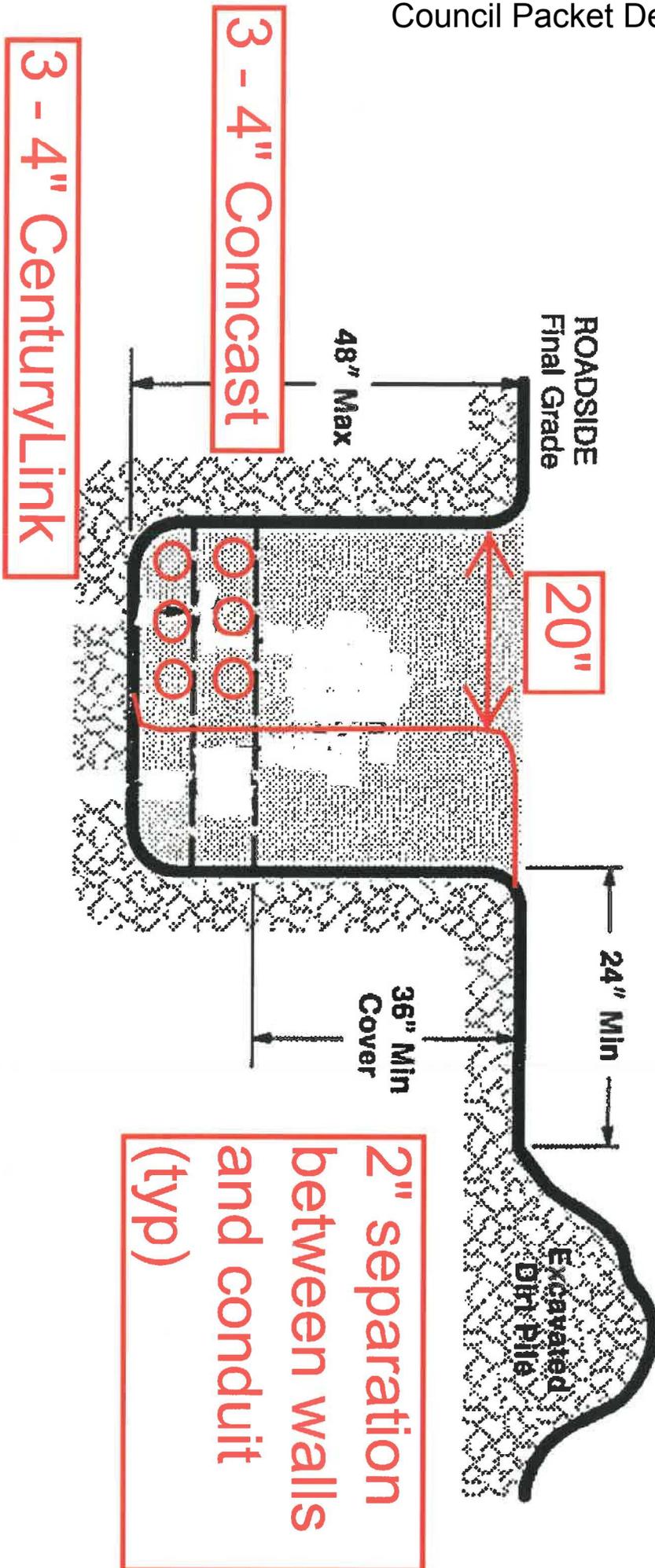
City Council Agenda Bill

| | | | | | |
|--|--|--|---|------------------------------------|--|
| SUBJECT: | | Agenda Date: December 6, 2016 | | AB16-144 | |
| A Motion Authorizing Change Order #2 with Sierra Pacific Construction, LLC for the Bendigo Blvd at Park Street – Northbound Right Turn Lane Construction Project | | Department/Committee/Individual | | | |
| | | Mayor Ken Hearing | | | |
| | | City Administrator – Londi Lindell | | | |
| | | City Attorney - Mike Kenyon | | | |
| | | City Clerk – Susie Oppedal | | | |
| | | Community & Economic Development – Gina Estep | | | |
| | | Finance – Dawn Masko | | | |
| | | Public Works – Mark Rigos, P.E. X | | | |
| Cost Impact: \$16,056 | | | | | |
| Fund Source: Streets Capital (310) | | | | | |
| Timeline: Immediate | | | | | |
| Attachments: Change Order #2 | | | | | |
| <p>SUMMARY STATEMENT:</p> <p>In September 2016, North Bend City Council awarded Sierra Pacific Construction, LLC a construction contract to construct a 200’ long northbound right turn lane on Bendigo Blvd at the intersection with Park Street. Construction began on November 3, 2016 and is currently about 50% complete.</p> <p>Change Order #1 was approved by Council on November 15, 2016 and included work to encase an existing shallow utility duct bank with controlled density fill (CDF) to protect the utilities during construction. The approved amount for this change order was not to exceed \$49,033, but actual costs incurred were only \$28,613.10, \$20,419.90 less than the approved amount.</p> <p>This proposed Change Order #2 will construct a new joint utility trench beneath the new sidewalk in an effort to minimize reconstruction work when the affected utility companies relocate their facilities in the future. The trench will benefit both Comcast and Century Link. Puget Sound Energy declined this opportunity. Both participating utilities have agreed to supply the conduit for the trench and both will reimburse the City for their proportional share of the costs. This change order will have no cost to the City, but requires Council approval because the City will front the money for the construction and will be reimbursed by the franchise companies at a later date.</p> <p>Costs will be incurred based on labor and equipment times actually necessary to perform the work, not to exceed \$16,056, similar to Change Order #1. Due to the reduced costs of CO #1, this change order will have no impact on the overall project budget, which was originally \$400,000.</p> <p>Staff recommends approval of Change Order #2 for the reasons discussed above. A summary of project costs and timeline impacts is below for reference:</p> | | | | | |
| | | Contract Price | Contract Time (to Physical Completion) | Reason | |
| Original Contract | | \$ 241,606.00 | 25 days | | |
| CO #1 | | \$ 49,033.00 | 6 days | Shallow Dry Utilities | |
| CO #2 | | \$ 16,056.00 | 3 days | Construct new joint utility trench | |
| Revised Total | | \$ 306,695.00 | 34 days | | |
| <p>COMMITTEE REVIEW AND RECOMMENDATION: This item has not had formal committee review, but was originally proposed by the Transportation and Public Works Committee during the</p> | | | | | |

City Council Agenda Bill

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|--|---------------|-------------|
| November 9, 2016 meeting when discussing Change Order #1. | | |
| RECOMMENDED ACTION: MOTION to approve AB16-144, authorizing Change Order #2 with Sierra Pacific Construction, LLC for the Bendigo Blvd at Park Street – Northbound Right Turn Lane Construction Project, in an amount not to exceed \$16,056. | | |
| RECORD OF COUNCIL ACTION | | |
| <i>Meeting Date</i> | <i>Action</i> | <i>Vote</i> |
| December 6, 2016 | | |
| | | |

| CONTRACT CHANGE ORDER - NO. 2 | | | |
|--|---|------------------------------|-------------|
| PROJECT NAME | Bendigo Blvd. Right Turn Lane Project | | |
| OWNER | City of North Bend | | |
| CONTRACTOR | Sierra Pacific Construction, LLC | CHANGE ORDER NUMBER | 2 |
| ORIGINAL CONTRACT DOLLAR AMOUNT AND TIME (IN DAYS) | | \$241,606.00 | 25 |
| PRIOR CHANGE ORDER AMOUNTS | | \$0.00 | 0 |
| CONTRACT AMOUNT AND TIME (IN DAYS) PRIOR TO THIS CHANGE ORDER | | \$241,606.00 | 25 |
| THE CHANGE DESCRIBED BELOW BECOMES A PART OF THE CONTRACT ONLY UPON SIGNATURES OF BOTH THE CONTRACTOR AND OWNER. ALL OTHER TERMS OF THE CONTRACT REMAIN UNCHANGED | | | |
| | | Dollars | Time (Days) |
| 1 | Excavation for and Placement of Controlled Density Fill per the attached plan sheet and specification. This work is necessary to protect existing underground utilities that were installed to a substandard depth. This work will be paid by force account per WSDOT Std Spec 1-09.6, not to exceed the authorized amount. | \$49,033.00 | 6 |
| 2 | Construct joint utility trench per attached plan and cross section. Utility companies will supply necessary conduit. This work will be paid by force account per WSDOT Std Spec 1-09.6, not to exceed the authorized amount. | \$16,056.00 | 3 |
| 3 | | \$0.00 | 0 |
| 4 | | \$0.00 | 0 |
| NET CHANGE TO DOLLAR AMOUNT AND TIME | | \$65,089.00 | 9 |
| REVISED CONTRACT DOLLAR AMOUNT AND TIME (IN DAYS) | | \$306,695.00 | 34 |
| REVISED TAX AMOUNT (N/A) | | \$0.00 | |
| SIGNATURES | | | |
| THE PARTIES TO THIS CONTRACT AGREE TO THE TECHNICAL CHANGES, THE CHANGES IN CONTRACT DOLLAR AMOUNT AND THE CHANGES IN CONTRACT TIME INDICATED ABOVE. | | | |
| | | | |
| City Inspector | Date | Public Works Director | Date |
| | | | |
| Contractor's Representative | Date | Mayor | Date |



Business Address:
P.O. Box 620
Maple Valley, WA 98038
UBI # 602 971 303 | Lic. # SIERRPC910R3



Contact Info:
Main: 206.730.8985
Email: bsmith@spccllc.com
Fax: 425.660.4040

BID PROPOSAL

Date: 11.22.16

Att: City of North Bend

Project: Bendigo Blvd. @ Park Street, North Bend

SPC is pleased to quote the following work based City directive and plan page C-06 with markups

SCOPE OF WORK:

Excavate & Backfill Joint Trench

Excavate approximately 215' of trench 4' depth x 1.5' wide
Include sand bedding and cover at pipe zone and backfill with imported structural fill

TOTAL: \$16,056

Respectfully,

Brian Smith

Unit Prices

Unit Unit Price

NA

Clarifications

Equipment rates per blue book and allowable markups per WSDOT

Exclusions

Anything Not Specifically Listed Above or as Modified by Scope of Work Noted Above

SIERRA PACIFIC COST EXTENSIONS

Scope: Joint trench 215 LF x 4' D x 20 IN W Incl 18 IN Sand Pipe Zone & Import Backfill

PROJECT

DATE

TICKET No

EQUIPMENT

| DESCRIPTION | | HOURLY RATE | OP. COST/HR | TOTAL COST/HR | HOURS | EXTENDED | |
|--------------------|------------------------|-------------|-------------|-----------------|-------------|-----------------|--------------------|
| ** | Cat 308E CR Excavator | \$50.00 | \$21.50 | \$71.50 | 24.00 | \$1,716.00 | |
| ** | Cat 420E Backhoe EROPS | \$34.00 | \$23.60 | \$57.60 | 24.00 | \$1,382.40 | |
| ** | F350 Tool Truck | \$9.00 | BARE | \$9.00 | 24.00 | \$216.00 | |
| ** | Ranger Tool Truck | \$7.00 | BARE | \$7.00 | 24.00 | \$168.00 | |
| DESCRIPTION | | | | RATE/DAY | DAYS | EXTENDED | |
| ** | Hoe Pack Attachment | CVP 40 | | \$ 225.00 | 3.00 | \$675.00 | |
| | | | | | subtotals | \$4,157.40 | TOTAL EQUIP |
| | | | | | 21% | \$5,030.45 | |

| CRAFT | GROUP | FIRST | LAST | RATE/HR | HOURS | EXTENDED | |
|-------|-------------------|-------|------|---------|-----------|------------|--------------------|
| FOR | Operator, Foreman | ** | ** | \$67.42 | 24.00 | \$1,618.08 | |
| OP | Operator | ** | ** | \$64.58 | 24.00 | \$1,549.92 | |
| LAB | Laborer | ** | ** | \$49.60 | 24.00 | \$1,190.40 | |
| | | | | | subtotals | \$4,358.40 | TOTAL LABOR |
| | | | | | 29% | \$5,622.34 | |

MATERIALS USED

| DESCRIPTION | UNIT | UNIT PRICE | X | EXTENDED | | |
|--|------|------------|-------|-----------|------------|------------------------|
| DUMP Dump Dirt-Cadman (North Bend) | CY | \$ 8.50 | 72.00 | \$612.00 | | |
| IMPORT Building Sand-Cadman (North Bend) | CY | \$ 16.30 | 45.00 | \$733.50 | | |
| IMPORT Type 17-Cadman (North Bend) | CY | \$ 14.70 | 60.00 | \$882.00 | | |
| | | | | subtotals | \$2,227.50 | |
| | | | | 21% | \$2,695.28 | TOTAL MATERIALS |

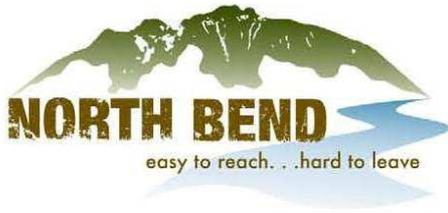
SUB/THIRD PARTY RENTALS

| TRADE | DESCRIPTION | UNIT | UNIT PRICE | X | EXTENDED | |
|-------|-----------------|------|------------|-----------|------------|----------------------|
| TRUCK | Solo Dump Truck | HR | \$ 125.00 | 16.00 | \$2,000.00 | |
| | | | | subtotals | \$2,000.00 | TOTAL SUB/SRV |
| | | | | 12% | \$2,240.00 | |

| | |
|--------------------|--|
| \$15,588.07 | TOTAL EQUIP, LABOR, MATERIALS SUB/SRV |
|--------------------|--|

Bond Fee 3%:
 Total:

0.03



City Council Agenda Bill

| | | | |
|---|---|--|-----------------|
| SUBJECT: | Agenda Date: December 6, 2016 | | AB16-145 |
| A Motion Authorizing the Mayor to enter into a First Amendment to a Professional Services Agreement for Appraisal Services | Department/Committee/Individual | | |
| | Mayor Ken Hearing | | |
| | City Administrator – Londi Lindell | | X |
| | City Attorney - Mike Kenyon | | |
| | City Clerk – Susie Oppedal | | |
| | Community & Economic Development – Gina Estep | | |
| | Finance – Dawn Masko | | |
| | Public Works – Mark Rigos | | |
| Cost Impact: Not to exceed \$24,000 | | | |
| Fund Source: Sewer Fund (ULID No.6) | | | |
| Timeline: Immediate | | | |

Attachments: First Amendment to Professional Services Agreement

SUMMARY STATEMENT:

Background: By adoption of Ordinance No. 1293 in November 2007, as amended by Ordinance No. 1312, the City approved the creation of Utility Local Improvement District No. 6 for the purpose of constructing a new sanitary sewer for the benefit of property owners within the ULID No. 6 boundaries. Construction of the sewer system was completed in 2011. A small group of property owners within the boundaries of ULID No. 6 challenged the validity of their assessments. Following a judicial appeal, the City Council adopted Ordinance 1547 in January 2015 to correct the deficiencies in the original ordinances and to specifically authorize the reassessment of the 17 parcels involved in the earlier appeal. After a second judicial appeal, the King County Superior Court granted summary judgment in favor of the City, affirming the City’s right to proceed with the reassessment of the 17 properties in dispute. That judgment is now final.

To proceed with the reassessment, the City must determine the special benefits of the sewer system extension for the 17 parcels that are the subject to reassessment under Ordinance No. 1547. This entails an appraisal of the fair market values of the properties both before and after the sewer system was built, using the original valuation date of September 23, 2011. In May 2016, the City relied on its City Attorney’s selection of an expert witness to perform the appraiser services and contracted with Robert Macaulay of Valbridge Property Advisors to conduct the appraisals and develop the reassessment roll. Mr. Macaulay is widely viewed as one of the leading LID appraisers in the State of Washington. Based on Mr. Macaulay’s estimates of the work required to complete the necessary reports, his contract has a “not to exceed” limit of \$48,000.

Mr. Macaulay has advised that much of the data that was used by the original appraiser (Deborah Foreman) when she did her ULID valuations back in 2011 is no longer available. In providing his original estimate of \$48,000 to complete the necessary valuation reports, Mr. Macaulay had expected that he would have access to all of Ms. Foreman’s old files. But Ms. Foreman retired a couple of years ago, and it appears that her firm may have purged most of her old files. This unforeseen circumstance has increased by 70-80 hours the amount of time needed to complete the appraisals. At his hourly rate of \$300, this will increase the cost of the appraisal work by \$21,000 - \$24,000. Accordingly, it is necessary to increase the fee cap under the appraisal contract from \$48,000 to an amount of not to exceed \$72,000.

Proposed Contract: The attached First Amendment to Professional Services Agreement amends the contract to increase the “not to exceed” limit by \$24,000 to allow for the increased hourly rate required by Mr. Macaulay to complete the appraisals for the ULID No. 6 reassessments.

Cost of Appraisal Paid by Property Owners: RCW 35.44.020(7) specifically allows costs incurred by

City Council Agenda Bill

| the City for the ULID, including all appraisal and legal costs, to be included in the assessments levied against the specially benefitted properties. | | |
|---|---------------|-------------|
| COMMITTEE REVIEW AND RECOMMENDATION: This Contract was reviewed by the Finance & Administration Committee on December 6, 2016 and the Committee recommended this contract be placed on the Consent Agenda for approval. | | |
| RECOMMENDED ACTION: MOTION to approve AB16-145, authorizing the Mayor to execute a First Amendment to the Professional Services Agreement with Valbridge Property Advisors raising the not-to-exceed limit by an additional \$24,000 so the maximum amount shall not exceed a total of \$72,000. | | |
| RECORD OF COUNCIL ACTION | | |
| <i>Meeting Date</i> | <i>Action</i> | <i>Vote</i> |
| December 6, 2016 | | |
| | | |

FIRST AMENDMENT TO PROFESSIONAL SERVICES AGREEMENT
BETWEEN
CITY OF NORTH BEND AND VALBRIDGE PROPERTY ADVISORS

WHEREAS, the City of North Bend, Washington (“City”), and Valbridge Property Advisors (“Consultant”) (collectively, the “Parties”) entered into a Professional Services Agreement dated May 25, 2016 (“Agreement”); and

WHEREAS, the Consultant agreed to perform certain property appraisal services as further and more particularly described in the Agreement, and to bill the City based on actual time expended and expenses incurred on the assigned project; and

WHEREAS, the Agreement provides that the Consultant’s payment for services rendered under the Agreement shall not exceed \$48,000 without written modification signed by the City; and

WHEREAS, due to the unique nature of the appraisal assignment, completion of the appraisal reports has necessitated 70-80 hours of additional work beyond the Consultant’s original estimates; and

WHEREAS, pursuant to Ordinance No. 1547, the City has authorized the reassessment of certain properties within ULID No. 6, which necessitates the completion of appraisal reports on those properties; and

WHEREAS, pursuant to RCW 35.44.020, the City is authorized to charge properties within ULID No. 6 the reasonable costs associated with conducting the appraisals;

NOW THEREFORE, in consideration of the mutual benefits and obligations set forth in the Agreement and as further set forth below, the Parties agree as follows:

1. Section 2 of the Agreement is amended to state that the Consultant’s payment shall not exceed Seventy-Two Thousand Dollars and No/100 (\$72,000).
2. All other terms of the Agreement remain in full force and effect.

AGREED TO BY:

CITY OF NORTH BEND, WASHINGTON

VALBRIDGE PROPERTY ADVISORS

By: _____
Kenneth G. Hearing, Mayor

By: _____
Robert J. Macaulay, WA Certified
Appraiser

Date: _____

Date: _____

Attest/Authenticated:

By: _____
Susie Oppedal, City Clerk

Approved as to form:

By: _____
Michael R. Kenyon, City Attorney



City Council Agenda Bill

| | | | | | |
|---|--|---|--|-----------------|---|
| SUBJECT: | | Agenda Date: December 6, 2016 | | AB16-146 | |
| An Ordinance Amending the 2015-2016 Budget Ordinance 1604 to Reflect Changes in Revenues and Expenditures | | Department/Committee/Individual | | | |
| | | Mayor Ken Hearing | | | |
| | | City Administrator – Londi Lindell | | | |
| | | City Attorney - Mike Kenyon | | | |
| | | City Clerk – Susie Oppedal | | | |
| | | Community & Economic Development – Gina Estep | | | |
| | | Finance – Dawn Masko | | | X |
| | | Public Works – Mark Rigos | | | |
| Cost Impact: N/A | | | | | |
| Fund Source: Multiple | | | | | |
| Timeline: Immediate | | | | | |
| Attachments: Ordinance, Exhibit A, Exhibit B | | | | | |
| <p>SUMMARY STATEMENT:</p> <p>It is a prudent financial practice to periodically adjust an adopted budget to reflect major revenue or expenditure items that occur during the year and were unanticipated during the budget process. It is not uncommon that Council may approve unanticipated expenditures during the course of the year. Budget amendments are needed to address these issues and ensure that we adjust revenues or appropriations as necessary to keep us within authorized budget limits per Washington State law. Additionally, budget amendments better reflect each fund’s anticipated ending fund balances. The State Auditor expects such adjustments to occur.</p> <p>This budget amendment consists of miscellaneous adjustments related to development regulations, capital projects and impact fees. Detail regarding specific budget line item changes being recommended for adjustment is contained in Exhibit B to the Ordinance. Highlights include:</p> <p><u>General Fund:</u></p> <ul style="list-style-type: none"> Increase professional services budget in General Fund (001) for amending cottage residential provisions and Park Street integration into downtown core. <p><u>Special Revenue Funds:</u></p> <ul style="list-style-type: none"> Recognize decreased revenues in Impact Fee Fund (106) due to project timing. Adjust transfers-out to Capital Projects Fund (310) from Impact Fee Fund (106) for contract change orders. <p><u>Capital Project Funds:</u></p> <ul style="list-style-type: none"> Increase appropriations in the Municipal Projects Fund (310) for the Bendigo at Park Right Turn Lane and Civic Center preliminary design capital projects. Increase appropriation in the Capital Improvements Fund (320) for transfer-out to Municipal Project Fund (31) for Civic Center preliminary design. | | | | | |
| <p>COMMITTEE REVIEW AND RECOMMENDATION: The Finance & Administration Committee discussed the budget adjustment at their December 6th meeting.</p> | | | | | |
| <p>RECOMMENDED ACTION: MOTION to approve AB16-146, an ordinance amending the 2016 Budget, as a first and final reading.</p> | | | | | |
| RECORD OF COUNCIL ACTION | | | | | |
| <i>Meeting Date</i> | | <i>Action</i> | | <i>Vote</i> | |
| December 6, 2016 | | | | | |

ORDINANCE

AN ORDINANCE OF THE CITY OF NORTH BEND, WASHINGTON, AMENDING THE CITY'S 2015- 2016 BUDGET AND SALARY SCHEDULE ORDINANCE NO. 1604; PROVIDING FOR SEVERABILITY; AND ESTABLISHING AN EFFECTIVE DATE

WHEREAS, the City Council adopted the City's 2015-2016 Budget pursuant to Ordinance No. 1545 on December 2, 2014 and revised the budget pursuant to Ordinance No. 1550, Ordinance No. 1559, Ordinance No. 1564, Ordinance No. 1570, Ordinance No. 1581, Ordinance No. 1597 and Ordinance No. 1604; and

WHEREAS, the City is prohibited from over expending its appropriated budget as set forth in Ordinance No. 1604; and

WHEREAS, certain revisions to the 2016 budget are now necessary;

**NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF NORTH BEND,
WASHINGTON, DO HEREBY ORDAIN AS FOLLOWS:**

Section 1. The 2016 Budget, as amended in Ordinance No. 1604, is hereby amended as set forth in Exhibit "A".

Section 2. The explanations of the amendments are listed in Exhibit "B".

Section 3. Severability. Should any section, paragraph, sentence, clause or phrase of this ordinance, or its application to any person or circumstance, be declared unconstitutional or otherwise invalid for any reason, or should any portion of this ordinance be pre-empted by state or federal law or regulation, such decision or pre-emption shall not affect the validity of the remaining portions of this ordinance or its application to other persons or circumstances.

Section 5. Effective Date. This ordinance shall be published in the official newspaper of

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the City, and shall take effect and be in full force five (5) days after the date of publication.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, AT A REGULAR MEETING THEREOF, THIS 6TH DAY OF DECEMBER, 2016.

CITY OF NORTH BEND:

APPROVED AS TO FORM:

Kenneth G. Hearing, Mayor

Michael R. Kenyon, City Attorney

ATTEST/AUTHENTICATED:

Published:
Effective:

Susie Oppedal, City Clerk

CITY OF NORTH BEND
2016 Budget Appropriation Adjustment
"Exhibit A"

| FUND | REVENUES AND OTHER SOURCES | | EXPENDITURES AND OTHER USES | | ENDING BALANCE | |
|--|----------------------------|---------------------|-----------------------------|----------------------|-------------------|----------------------|
| | Current Budget | Adjustment | Revised Budget | Current Budget | | Adjustment |
| Operating | | | | | | |
| General | | | | | | |
| 001 General | \$ 7,917,482 | \$ - | \$ 7,917,482 | \$ 6,897,756 | \$ 15,000 | \$ 6,912,756 |
| Subtotal General Fund | 7,917,482 | - | 7,917,482 | 6,897,756 | 15,000 | 6,912,756 |
| Special Revenue | | | | | | |
| 101 Street | 730,018 | - | 730,018 | 730,018 | - | 730,018 |
| 102 Capital Streets | 174,045 | - | 174,045 | 168,728 | - | 168,728 |
| 103 Streets Overlay | 267,914 | - | 267,914 | 222,725 | - | 222,725 |
| 106 Impact Fees & Mitigation | 2,444,628 | (993,037) | 1,451,591 | 1,190,910 | 95,870 | 1,286,780 |
| 107 Hotel/Motel Tax | 19,285 | - | 19,285 | 14,000 | - | 14,000 |
| 108 Economic Development | 147,622 | - | 147,622 | 147,622 | - | 147,622 |
| 116 Park Capital Improvement | 100,171 | - | 100,171 | 57,805 | - | 57,805 |
| 125 Developer Projects (CED) | 1,112,588 | - | 1,112,588 | 939,540 | - | 939,540 |
| Subtotal Special Revenue Funds | 4,996,271 | (993,037) | 4,003,234 | 3,471,348 | 95,870 | 3,567,218 |
| Debt Service | | | | | | |
| 215 2010 LTGO Debt - Tollgate | - | - | - | - | - | - |
| 216 2011 Fire Station Bond Redemption | 361,468 | - | 361,468 | 181,600 | - | 181,600 |
| 217 2012 LTGO TBD Bond Redemption | 157,697 | - | 157,697 | 145,900 | - | 145,900 |
| 218 2015 LTGO Bond Redemption | 194,074 | - | 194,074 | 194,074 | - | 194,074 |
| 219 2016 LTGO (LOC) Bond Fund | 904,500 | - | 904,500 | 904,500 | - | 904,500 |
| Subtotal Debt Service Funds | 1,617,739 | - | 1,617,739 | 1,426,074 | - | 1,426,074 |
| Total Operating Funds | 14,531,492 | (993,037) | 13,538,455 | 11,795,178 | 110,870 | 11,906,048 |
| Capital Improvement | | | | | | |
| 310 Municipal Projects | 2,959,413 | 104,675 | 3,064,088 | 2,259,542 | 104,675 | 2,364,217 |
| 320 Capital Improvement (REET) | 1,353,000 | - | 1,353,000 | 281,488 | 8,805 | 290,293 |
| Subtotal Capital Improv. Fund | 4,312,413 | 104,675 | 4,417,088 | 2,541,030 | 113,480 | 2,654,510 |
| Enterprise | | | | | | |
| 401 Water Operations & Capital | 4,213,414 | - | 4,213,414 | 1,916,336 | - | 1,916,336 |
| 402 Sewer Operations & Capital | 4,148,332 | - | 4,148,332 | 2,961,269 | - | 2,961,269 |
| 404 Storm Operations & Capital | 1,377,251 | - | 1,377,251 | 992,770 | - | 992,770 |
| 404 Flood Operations | 767,343 | - | 767,343 | 181,645 | - | 181,645 |
| 405 Solid Waste & Recycling Operations | 293,266 | - | 293,266 | 39,539 | - | 39,539 |
| 450 ULID #6 Construction | - | - | - | - | - | - |
| 451 ULID #6 Revenue Bond Redemption | 6,264,961 | - | 6,264,961 | 1,507,284 | - | 1,507,284 |
| 452 ULID #6 Revenue Bond Reserve | 1,254,255 | - | 1,254,255 | - | - | - |
| Subtotal Enterprise Funds | 18,318,822 | - | 18,318,822 | 7,598,843 | - | 7,598,843 |
| Internal Service | | | | | | |
| 501 Equipment Operations | 312,910 | - | 312,910 | 312,910 | - | 312,910 |
| 501 Technology Operations | 170,102 | - | 170,102 | 170,102 | - | 170,102 |
| 502 Equipment Reserve | 464,811 | - | 464,811 | 30,000 | - | 30,000 |
| 502 Technology Reserve | 61,446 | - | 61,446 | 8,572 | - | 8,572 |
| Subtotal Internal Service Fund | 1,009,269 | - | 1,009,269 | 521,584 | - | 521,584 |
| Total Budget | \$ 38,171,996 | \$ (888,362) | \$ 37,283,634 | \$ 22,456,635 | \$ 224,350 | \$ 22,680,985 |
| | | | | | | \$ 14,602,649 |

**CITY OF NORTH BEND
2016 Budget Appropriation Adjustment
Exhibit "B"**

| REVENUES & OTHER SOURCES | | EXPENDITURES & OTHER USES | | | |
|---|--------------------------|---------------------------|---|--------------------------|------------|
| Description | Account Number | Amount | Description | Account Number | Amount |
| General Fund (001) | | | General Fund (001) | | |
| Total General Fund Adjustment | | \$ - | Planning - Professional Services | 001-000-058-558-60-41-00 | \$ 15,000 |
| | | | Total General Fund Adjustment | | \$ 15,000 |
| Impact Fees & Mitigation Fund (106) | | | Impact Fees & Mitigation Fund (106) | | |
| Transportation Impact Fees | 106-100-000-345-85-00-00 | \$ (363,834) | Trans to Bendigo @ Park Right Turn Lane (310-100-008) | 106-100-000-597-00-00-00 | \$ 90,000 |
| Park Impact Fees | 106-200-000-345-85-00-00 | (609,913) | Transfer to Civic Center (310-300) | 106-100-000-597-18-00-00 | 2,935 |
| Fire Impact Fees | 106-300-000-345-85-00-00 | (19,290) | Transfer to Civic Center (310-300) | 106-200-000-597-18-00-00 | 2,935 |
| Total Impact Fees & Mitigation Fund Adjustment | | \$ (993,037) | Total Impact Fees & Mitigation Fund Adjustment | | \$ 95,870 |
| Municipal Projects Fund (310) | | | Municipal Projects Fund (310) | | |
| Transfer from Transportation Impact Fees (106-100) | 310-100-008-397-00-00-00 | \$ 90,000 | Bendigo @ Park Right Turn Lane | 310-100-008-595-30-63-01 | \$ 90,000 |
| Transfer from Capital Imp (REET) Fund (320) | 310-300-000-397-00-00-01 | 8,805 | Civic Center - Predesign | 310-300-000-594-18-62-00 | 14,675 |
| Transfer from Transportation Impact Fees (106-100) | 310-300-000-397-00-00-02 | 2,935 | | | |
| Transfer from Park Impact Fees (106-200) | 310-300-000-397-00-00-03 | 2,935 | | | |
| Total Municipal Projects Fund Adjustment | | \$ 104,675 | Total Municipal Projects Fund Adjustment | | \$ 104,675 |
| Capital Improvements (REET) Fund (320) | | | Capital Improvements (REET) Fund (320) | | |
| Transfer to Civic Center (310-300) | | \$ - | Transfer to Civic Center (310-300) | 320-000-000-597-95-63-07 | \$ 8,805 |
| Total Capital Improvements (REET) Fund Adjustment | | \$ - | Total Capital Improvements (REET) Fund Adjustment | | \$ 8,805 |
| GRAND TOTAL - REVENUE ADJUSTMENTS | | \$ (888,362) | GRAND TOTAL - EXPENDITURE ADJUSTMENTS | | \$ 224,350 |



City Council Agenda Bill

| | | | | | | |
|--|---------------|---|--|-----------------|--|---|
| SUBJECT: | | Agenda Date: December 6, 2016 | | AB16-147 | | |
| Selection of the 2017 Mayor Pro Tem | | Department/Committee/Individual | | | | |
| | | Mayor Ken Hearing | | | | |
| | | City Administrator – Londi Lindell | | | | |
| | | City Attorney - Mike Kenyon | | | | |
| | | City Clerk – Susie Oppedal | | | | |
| | | Community & Economic Development – Gina Estep | | | | |
| | | Finance – Dawn Masko | | | | |
| | | Public Works – Mark Rigos | | | | |
| | | Mayor Pro Tem Loudenback | | | | X |
| | | Cost Impact: N/A | | | | |
| Fund Source: N/A | | | | | | |
| Timeline: Immediate | | | | | | |
| Attachments: | | | | | | |
| SUMMARY STATEMENT: | | | | | | |
| <p>RCW 35A.12.065 requires the Council select a Mayor Pro Tem. In addition to serving in the absence of the Mayor, the Mayor Pro Tem, in coordination with the Administration, sets the agenda for the monthly workstudy meetings, serves as support for the Council’s standing committees, serves in absence of committee members, assigns chairs, and works with the Mayor and Administration in connection with the duties of the committees. City of North Bend Resolution 1437 states the Council must select a Councilmember to serve as the Mayor Pro Tem at the first meeting in December. The Councilmember so selected will serve as Mayor Pro Tem for a period of one year.</p> | | | | | | |
| COMMITTEE REVIEW AND RECOMMENDATION: | | | | | | |
| <p>RECOMMENDED ACTION: MOTION to approve AB16-147, confirming Councilmember _____ as the 2017 Mayor Pro Tem.</p> | | | | | | |
| RECORD OF COUNCIL ACTION | | | | | | |
| <i>Meeting Date</i> | <i>Action</i> | <i>Vote</i> | | | | |
| December 6, 2016 | | | | | | |
| | | | | | | |



City Council Agenda Bill

| | | | | | | |
|--|--|---|--|-----------------|--|---|
| SUBJECT: | | Agenda Date: December 6, 2016 | | AB16-148 | | |
| Ordinance Adopting the 2017-2018 Biennial Budget & 2017 Salary Schedule Cost Impact: \$49,009,878 Fund Source: All Timeline: Adoption 12/6/16, effective 1/1/17 | | Department/Committee/Individual | | | | |
| | | Mayor Ken Hearing | | | | |
| | | City Administrator – Londi Lindell | | | | |
| | | City Attorney - Mike Kenyon | | | | |
| | | City Clerk – Susie Oppedal | | | | |
| | | Community & Economic Development – Gina Estep | | | | |
| | | Finance Director– Dawn Masko | | | | X |
| | | Public Works Director – Mark Rigos | | | | |
| | | | | | | |
| Attachments: Ordinance, Exhibits A-1, A-2 and B, Attachment A | | | | | | |
| <p>The proposed 2017-2018 Draft Preliminary Biennial Budget was delivered to the City Council on October 3, 2016. The City Council deliberated on the Preliminary 2017-2018 Budget at a Budget Workshop on October 11, 2016. Mayor Hearing communicated highlights of the 2017-2018 Budget within his Mayor’s Message. Council comments and direction were incorporated into the 2017-2018 Preliminary Biennial Budget Ordinance. A Public Hearing was held on November 15, 2016 to receive comments regarding the proposed budget. First reading of the budget ordinance occurred on November 15th as well.</p> <p>The 2017-2018 Biennial Budget is consistent with Council direction and complies with state law and City financial policies. The proposed expenditures are balanced against revenue & resource estimates for each of the City’s funds. The City’s 10% Reserve in the General Fund is also maintained.</p> <p>Following a Public Hearing on November 15, 2016, Council discussed and passed Ordinance 1605 adopting the 2017 regular property tax levy which did not include a statutory increase over the 2016 actual regular levy.</p> <p>Attached is the list of Decision Cards (New Initiatives/Programs/Staff) that are included in the 2017-2018 Budget following Council discussion at the October 11, 2016 budget workshop.</p> <p>Per RCW Chapter 36.40.250 pertaining to biennial budgets, the City Council will be able to review and modify the 2018 budget revenues and expenditures as part of a mid-biennium modification that will occur in the fall of 2017. Additionally, Council will continue to review and approve quarterly budget adjustments throughout the biennium.</p> <p>When the final 2017-2018 Budget document is compiled, it will be published on the City’s Webpage, a copy will be available at the front counter at City Hall and 2 copies will be available at the North Bend Library.</p> | | | | | | |
| COMMITTEE REVIEW AND RECOMMENDATION: This item was reviewed at the City Council workshop on October 11, 2016 and at the November 15, 2016 City Council meeting and moved forward for 2 nd reading and adoption on December 6, 2016. | | | | | | |
| RECOMMENDED ACTION: MOTION to approve AB16-148, an ordinance adopting the 2017-2018 Biennial Budget and the 2017 Salary Schedule, as a final reading. | | | | | | |
| RECORD OF COUNCIL ACTION | | | | | | |
| <i>Meeting Date</i> | | <i>Action</i> | | <i>Vote</i> | | |
| November 15, 2016 | | Public Hearing and First Reading of Ordinance | | 6-0 | | |
| December 6, 2016 | | | | | | |

ORDINANCE

AN ORDINANCE OF THE CITY OF NORTH BEND, WASHINGTON, ADOPTING THE 2017-2018 BIENNIAL BUDGET AND SALARY SCHEDULE; PROVIDING FOR SEVERABILITY; AND ESTABLISHING AN EFFECTIVE DATE

WHEREAS, State law requires the City to adopt a budget and provides procedures for the filing of estimates, a preliminary budget, public hearings, and final fixing of the budget; and

WHEREAS, the City Council of the City of North Bend adopted Ordinance 1528 on May 20, 2014 establishing a biennial budget process in accordance with the provisions of RCW Chapter 35A.34; and

WHEREAS, the City Council has stipulated that the biennial budget will be implemented as two one-year financial plans, that actual expenditures in the first year may not exceed the first year plan appropriations, that second year plan appropriations shall only be expended in the second year, and that any appropriation changes will require City Council approval; and

WHEREAS, a preliminary biennial budget for the fiscal years 2017-2018 has been prepared and filed, a public hearing was held on November 15, 2016 for the purposes of fixing the final budget, and the City Council has deliberated and has made adjustments and changes deemed necessary and proper; and

WHEREAS, the City Council now wishes to adopt by reference, in accordance with RCW 35A.34.120, a final budget which provides for totals of estimated revenues and appropriations for each separate fund and the aggregate totals for all such funds combined; and

WHEREAS, the City Council also desires to adopt a Salary Schedule for 2017;

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, DO ORDAIN AS FOLLOWS:

Section 1. 2017-2018 Biennial Budget Adoption. The Biennial Budget for the City of North Bend, a copy of which is on file with the City Clerk, is hereby adopted by the City Council as the revenue and expenditure authority for the 2017-2018 biennium. Set forth in summary form in Exhibits A-1 and A-2 (2017 and 2018 Annual Budgets) are the totals of the estimated revenues and expenditures for each separate fund and the aggregate totals for all such funds combined.

Section 2. 2017 Salary Schedule Adoption. The City Council hereby adopts the 2017 Salary Schedule as shown in Exhibit B. 2018 Salary Schedules will be adopted as part of the Mid-Biennium Modification.

Section 3. Submittal. The City Clerk and/or Finance Director are directed to transmit a certified copy of this ordinance and the final 2017-2018 Biennial Budget Document to the Division of Municipal Corporations of the Office of the State Auditor and to the Association of Washington Cities.

Section 4. Severability. Should any section, paragraph, sentence, clause or phrase of this ordinance, or its application to any person or circumstance, be declared unconstitutional or otherwise invalid for any reason, or should any portion of this ordinance be pre-empted by state or federal law or regulation, such decision or pre-emption shall not affect the validity of the remaining portions of this ordinance or its application to other persons or circumstances.

Section 5. Effective Date. This ordinance shall be published in the official newspaper of the City, and shall take effect and be in full force on January 1, 2017.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, AT A REGULAR MEETING THEREOF, THIS 6TH DAY OF DECEMBER, 2016.

CITY OF NORTH BEND:

APPROVED AS TO FORM:

Kenneth G. Hearing, Mayor

Michael R. Kenyon, City Attorney

Published:
Effective: January 1, 2017

ATTEST/AUTHENTICATED:

Susie Oppedal, City Clerk

EXHIBIT A - 1

2017 ANNUAL BUDGET

| Fund | Fund Name | Beginning Fund Balance | Revenues | Expenditures | Ending Fund Balance |
|---------------------|----------------------------------|-----------------------------------|----------------------|----------------------|--------------------------------|
| 001 | General Fund | \$ 1,023,583 | \$ 7,208,705 | \$ 7,550,296 | \$ 681,992 |
| 101 | Street Operations Fund | - | 797,466 | 797,466 | - |
| 102 | Capital Streets Fund | 6,108 | 163,141 | 169,249 | - |
| 103 | Streets Overlay Fund | 45,354 | 739,910 | 714,420 | 70,844 |
| 106 | Impact Fees & Mitigation Fund | 439,074 | 4,005,352 | 1,345,404 | 3,099,022 |
| 107 | Hotel/Motel Tax Fund | 6,785 | 13,500 | 14,000 | 6,285 |
| 108 | Economic Development Fund | - | 189,371 | 189,371 | - |
| 116 | Park Improvement Fund | 39,078 | 14,000 | - | 53,078 |
| 125 | Development Projects Fund | 173,048 | 892,140 | 922,140 | 143,048 |
| 216 | 2011 Fire Station Bond Fund | 180,368 | 178,975 | 179,100 | 180,243 |
| 217 | 2012 LTGO (TBD) Bond Fund | 11,930 | 148,275 | 148,400 | 11,805 |
| 218 | 2015 LTGO Bond Fund | - | 191,723 | 191,723 | - |
| 219 | 2015 LTGO (LOC) Bond Fund | - | 2,426,500 | 2,426,500 | - |
| 310 | Municipal Projects Fund | 797,638 | 2,896,314 | 3,158,829 | 535,123 |
| 320 | Capital Improvements (REET) Fund | 1,065,207 | 520,000 | 655,756 | 929,451 |
| 401 | Water Utility Fund | 2,309,483 | 2,030,663 | 1,849,339 | 2,490,807 |
| 402 | Sewer Utility Fund | 1,206,670 | 5,075,584 | 4,356,080 | 1,926,174 |
| 404 | Storm Drainage Utility Fund | 384,676 | 737,522 | 798,792 | 323,406 |
| 404 | Flood Operations Fund | 585,698 | 172,400 | 163,134 | 594,964 |
| 405 | Solid Waste & Recycling Fund | 254,167 | 93,810 | 44,789 | 303,188 |
| 451 | ULID #6 Bond Redemption Fund | 4,764,177 | 1,078,898 | 1,388,000 | 4,455,075 |
| 452 | ULID #6 Bond Reserve Fund | 1,255,955 | 3,200 | - | 1,259,155 |
| 501 | Equipment Operating Fund | - | 318,039 | 318,039 | - |
| 501 | Technology Operating Fund | - | 186,064 | 186,064 | - |
| 502 | Equipment Reserve Fund | 434,811 | 227,750 | 6,900 | 655,661 |
| 502 | Technology Reserve Fund | 52,699 | 75,068 | 13,290 | 114,477 |
| GRAND TOTAL: | | \$ 15,036,509 | \$ 30,384,370 | \$ 27,587,081 | \$ 17,833,798 |

EXHIBIT A - 2

2018 ANNUAL BUDGET

| Fund | Fund Name | Beginning Fund Balance | Revenues | Expenditures | Ending Fund Balance |
|---------------------|----------------------------------|-----------------------------------|----------------------|----------------------|--------------------------------|
| 001 | General Fund | \$ 681,992 | \$ 7,374,815 | \$ 7,707,294 | \$ 349,513 |
| 101 | Street Operations Fund | - | 813,041 | 813,041 | - |
| 102 | Capital Streets Fund | - | 163,168 | 163,168 | - |
| 103 | Streets Overlay Fund | 70,844 | 280,400 | 150,000 | 201,244 |
| 106 | Impact Fees & Mitigation Fund | 3,099,022 | 7,038,108 | 1,434,402 | 8,702,728 |
| 107 | Hotel/Motel Tax Fund | 6,285 | 40,000 | 40,000 | 6,285 |
| 108 | Economic Development Fund | - | 165,416 | 165,416 | - |
| 116 | Park Improvement Fund | 53,078 | 14,500 | 3,779 | 63,799 |
| 125 | Development Projects Fund | 143,048 | 892,140 | 922,140 | 113,048 |
| 216 | 2011 Fire Station Bond Fund | 180,243 | 175,975 | 176,100 | 180,118 |
| 217 | 2012 LTGO (TBD) Bond Fund | 11,805 | 145,675 | 145,800 | 11,680 |
| 218 | 2015 LTGO Bond Fund | - | 198,259 | 198,259 | - |
| 219 | 2015 LTGO (LOC) Bond Fund | - | 325,500 | 325,500 | - |
| 310 | Municipal Projects Fund | 535,123 | 904,779 | 911,000 | 528,902 |
| 320 | Capital Improvements (REET) Fund | 929,451 | 1,038,500 | 136,050 | 1,831,901 |
| 401 | Water Utility Fund | 2,490,807 | 2,156,569 | 2,069,833 | 2,577,543 |
| 402 | Sewer Utility Fund | 1,926,174 | 3,304,250 | 3,095,591 | 2,134,833 |
| 404 | Storm Drainage Utility Fund | 323,406 | 749,847 | 864,000 | 209,253 |
| 404 | Flood Operations Fund | 594,964 | 177,670 | 167,467 | 605,167 |
| 405 | Solid Waste & Recycling Fund | 303,188 | 95,220 | 45,853 | 352,555 |
| 451 | ULID #6 Bond Redemption Fund | 4,455,075 | 903,765 | 1,370,400 | 3,988,440 |
| 452 | ULID #6 Bond Reserve Fund | 1,259,155 | 3,400 | - | 1,262,555 |
| 501 | Equipment Operating Fund | - | 321,610 | 321,610 | - |
| 501 | Technology Operating Fund | - | 183,089 | 183,089 | - |
| 502 | Equipment Reserve Fund | 655,661 | 227,713 | - | 883,374 |
| 502 | Technology Reserve Fund | 114,477 | 75,068 | 13,005 | 176,540 |
| GRAND TOTAL: | | \$ 17,833,798 | \$ 27,768,477 | \$ 21,422,797 | \$ 24,179,478 |

EXHIBIT B

2017 Salary Ranges

| Position Title | Monthly Salary Range | | Employees |
|--|----------------------|----------|--------------|
| | Entry | High | |
| Mayor and Council | | | |
| Mayor | \$ 2,000 | N/A | 1 Elected |
| Council Member | 400 | N/A | 7 Elected |
| Management (Exempt) | | | |
| City Administrator | 10,000 | 12,500 | 1 |
| Asst. City Administrator/Finance Director | 8,500 | 11,800 | 1 |
| Public Works Director | 8,500 | 11,800 | 1 |
| Community & Economic Dev. Director | 8,500 | 11,500 | 1 |
| Deputy Public Works Director | 8,500 | 11,250 | 1 |
| City Engineer | 8,000 | 10,500 | 1 |
| Building Official | 6,800 | 8,800 | 1 |
| PW Project Manager | 6,800 | 8,800 | 2 |
| SCADA Supervisor | 6,000 | 8,500 | 1 |
| Wastewater Treatment Plant Manager | 6,300 | 8,000 | 1 |
| Deputy Finance Director | 6,100 | 7,900 | 1 |
| City Clerk | 6,100 | 7,900 | 1 |
| Events/Economic Development Coordinator | 3,987 | 5,834 | 0.5 |
| Public Works Bargaining Unit | | | |
| Lead Parks Technician | 5,343 | 6,242 | 1 |
| Lead Streets Technician | 5,343 | 6,242 | 1 |
| Lead Water System Operator | 5,343 | 6,242 | 1 |
| Wastewater Treatment Plant Operator II | 4,675 | 5,823 | 2 |
| Mechanic | 4,540 | 5,601 | 1 |
| Wastewater Treatment Plant Operator I | 4,530 | 5,403 | 3 |
| Water System Operator | 4,530 | 5,356 | 3 |
| Maintenance Worker | 4,530 | 5,356 | 5 |
| Maintenance Worker - Entry | 3,986 | 4,273 | 0 |
| Maintenance (Seasonal) | 12.00/hr | 15.00/hr | |
| Professional, Technical, Clerical Bargaining Unit | | | |
| Senior Planner | 5,971 | 7,265 | 1.75 |
| Associate Planner/2-year term | 5,131 | 6,243 | 1 |
| Staff Accountant | 5,063 | 6,160 | 0 |
| Building Inspector/2-year term | 4,962 | 6,037 | 1 |
| Mapping CAD Technician | 4,882 | 5,940 | 0.2 |
| Records Coordinator | 4,860 | 5,913 | 1 |
| Deputy Clerk | 4,571 | 5,561 | 0 |
| Payroll Officer | 4,556 | 5,543 | 0 |
| Public Works Office Coordinator | 4,358 | 5,302 | 1 |
| Office Coordinator / Permit Technician | 4,358 | 5,302 | 1 |
| Utilities Coordinator | 4,344 | 5,285 | 2 |
| Business License & Tax Coordinator | 4,344 | 5,285 | 1 |
| Accounting Assistant II | 4,344 | 5,285 | 1 |
| Accounting Assistant I | 3,731 | 4,539 | 0 |
| Administrative Assistant | 3,641 | 4,430 | 0 |
| Total FTEs | | | 41.45 |

Ordinance

5



City Council Agenda Bill

| | | | | |
|--|---------------------|--|-----------------|---|
| SUBJECT: | | Agenda Date: December 6, 2016 | AB16-149 | |
| A Public Hearing on Ordinance 1602, a Moratorium on the Acceptance of Applications for Wireless Communication Facilities within the City | | Department/Committee/Individual | | |
| | | Mayor Ken Hearing | | |
| | | City Administrator – Londi Lindell | | |
| | | City Attorney - Mike Kenyon | | |
| | | City Clerk – Susie Oppedal | | |
| | | Community & Economic Development – Lynn Hyde | | X |
| | | Finance – Dawn Masko | | |
| | | Public Works – Mark Rigos | | |
| Cost Impact: N/A | | | | |
| Fund Source: N/A | | | | |
| Timeline: Immediate | | | | |
| Attachments: Ordinance 1602, Public Notice | | | | |
| <p>SUMMARY STATEMENT:</p> <p>Prior to 2010, the North Bend Municipal Code (NBMC) allowed wireless communication facilities through a conditional use permit (CUP) in the majority of the zoning districts in North Bend. Specific performance standards were triggered through the CUP process.</p> <p>In 2010, the code was amended to allow wireless facilities as a permitted use, no longer requiring a CUP, but the performance standards were not relocated to the development regulations in NBMC 18.10.050 Table, and remain in the conditional use criteria section.</p> <p>Since those amendments in 2010, Congress passed the “Middle Class Tax Relief and Job Creation Act of 2012” (the “Spectrum Act”) (PL-112-96; codified at 47 U.S.C. § 1455(a)), which, in part, amended the Telecommunications Act of 1996 and imposed particular requirements on local applications for modifications of wireless communication facilities.</p> <p>The City Council has determined that the NBMC currently lacks adequate provisions to regulate wireless communication facilities within the City in compliance with current federal laws, and in concern to public health, safety and welfare.</p> <p>The moratorium will allow the City adequate time to evaluate desired design standards, federal laws, and public health, safety and welfare and amend the code to comply.</p> <p>Under state law, a public hearing is required to be held within sixty (60) days after adopting the moratorium ordinance. Ordinance 1602, adopting the moratorium, went into effect November 1, 2016</p> | | | | |
| COMMITTEE REVIEW AND RECOMMENDATION: NA - Public Hearing Only | | | | |
| RECOMMENDED ACTION: No Action Required. This is a Public Hearing Only. | | | | |
| RECORD OF COUNCIL ACTION | | | | |
| <i>Meeting Date</i> | <i>Action</i> | <i>Vote</i> | | |
| December 6, 2016 | Public Hearing Only | | | |
| | | | | |

ORDINANCE 1602

AN ORDINANCE OF THE CITY OF NORTH BEND, WASHINGTON, DECLARING AN EMERGENCY AND ADOPTING A SIX-MONTH MORATORIUM ON THE ACCEPTANCE OF APPLICATIONS FOR PERMITS OR APPROVALS FOR THE PLACEMENT OF WIRELESS COMMUNICATION FACILITIES WITHIN THE CITY; PROVIDING FOR SEVERABILITY; AND PROVIDING THAT THE MORATORIUM WILL TAKE EFFECT IMMEDIATELY UPON PASSAGE

WHEREAS, prior to 2010, Chapter 18.10, Zoning Districts, of the North Bend Municipal Code (NBMC) allowed wireless communications facilities as a conditional use in the majority of zoning districts in the City of North Bend ("City"); and

WHEREAS, NBMC 18.24.070, which was last updated in 2010, provides specific but limited criteria for the approval of a conditional use permit for wireless communication facilities; and

WHEREAS, on or about September 21, 2010, the City Council adopted Ordinance No. 1404, amending Chapter 18.10 NBMC to allow wireless communication facilities as a permitted, rather than conditional, use in the majority of zoning districts in the City, but failed to relocate the development regulations for such a use to NBMC 18.10.050, Table of Performance Standards, and failed to repeal the conditional use criteria for wireless communication facilities in NBMC 18.24.070; and

WHEREAS, in 2012 Congress passed the "Middle Class Tax Relief and Job Creation Act of 2012" (the "Spectrum Act") (PL-112-96; codified at 47 U.S.C. § 1455(a)), which, in part, amended the Telecommunications Act of 1996; and

WHEREAS, the City Council has determined that the NBMC currently lacks adequate provisions to regulate wireless communication facilities within the City in compliance with current federal laws; and

WHEREAS, the City Council finds that the vesting of permit applications for construction of wireless communication facilities under the existing NBMC would be detrimental to public health, safety and welfare;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. Findings of Fact: The City Council adopts as findings of fact the recitals set forth above, which are incorporated herein by reference.

Section 2. Moratorium Imposed: Pursuant to RCW 35A.63.220 and RCW 36.70A.390, a moratorium is hereby imposed in the City of North Bend upon the acceptance of applications for land use permits, development permits, building permits, conditional use permits, special use permits, variances, rezones, and all other types of permits or approvals for wireless communication facilities within the City; provided, that no part of this Ordinance shall be construed in a manner that conflicts with the applicable provisions of Section 6409 of the Spectrum Act.

Section 3. Referral to Mayor: The Mayor is requested to direct City Staff to analyze the City's development regulations related to wireless communication facilities and all applicable state and federal law, and to prepare recommendations for consideration by members of the public, members of the development community, the Planning Commission, and the City Council.

Section 4. Public Hearing: Pursuant to RCW 35A.63.220 and RCW 36.70A.390, the City Council will hold a public hearing and may adopt additional findings of fact regarding this moratorium within 60 days of the adoption of this Ordinance.

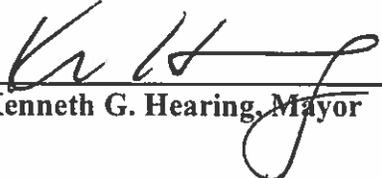
Section 5. Duration/Renewal: The moratorium imposed by this Ordinance shall be in effect for a period of six months from the date this ordinance is passed and shall automatically expire at the conclusion of that six-month period unless the same is extended as provided in RCW 35A.63.220 and RCW 36.70A.390, or unless terminated sooner by the City Council.

Section 6. Severability: If any one or more section, subsection, or sentence of this Ordinance is held to be unconstitutional or invalid, such decision shall not affect the validity of the remaining portion of this Ordinance and the same shall remain in full force and effect.

Section 7. Effective Date: This Ordinance, as a public emergency ordinance necessary for the protection of the public health, public safety, public property, or public peace, shall take effect and be in full force immediately upon its adoption. Pursuant to Matson v. Clark County Board of Commissioners, 79 Wn. App. 641, 904 P.2d 317 (1995), underlying facts necessary to support this emergency declaration are included in the "WHEREAS" clauses above, all of which are adopted by reference as findings of fact as if fully set forth herein.

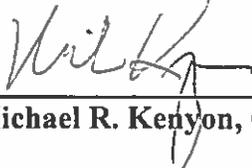
ADOPTED BY THE CITY COUNCIL OF THE CITY OF NORTH BEND,
WASHINGTON, AT A REGULAR MEETING THEREOF, THIS 1ST DAY OF
NOVEMBER, 2016.

CITY OF NORTH BEND:



Kenneth G. Hearing, Mayor

APPROVED AS TO FORM:



Michael R. Kenyon, City Attorney

ATTEST/AUTHENTICATED:



Susie Oppedal, City Clerk

Published: November 9, 2016
Effective: November 1, 2016



City Council Agenda Bill

| | | | | |
|---|-----------------------|---|-----------------|---|
| SUBJECT: | | Agenda Date: November 1, 2016 | AB16-123 | |
| An Ordinance Adopting a Six-Month Moratorium on the Acceptance of Applications for Permits or Approvals for the Placement of Wireless Communication Facilities within the City | | Department/Committee/Individual | | |
| | | Mayor Ken Hearing | | |
| | | City Administrator – Londi Lindell | | |
| | | City Attorney - Mike Kenyon | | |
| | | City Clerk – Susie Oppedal | | |
| | | Community & Economic Development – Gina Estep | | X |
| | | Finance – Dawn Masko | | |
| | | Public Works – Mark Rigos | | |
| Cost Impact: N/A | | | | |
| Fund Source: N/A | | | | |
| Timeline: Immediate | | | | |
| Attachments: Ordinance | | | | |
| <p>SUMMARY STATEMENT:</p> <p>Prior to 2010, the NBMC allowed wireless communication facilities as a conditional use, and NBMC 18.24.070 provides specific but limited criteria for the approval of a conditional use permit for wireless communication facilities.</p> <p>In September 2010, the City amended Chapter 18.10 NBMC to allow wireless communication facilities as a permitted use rather than a conditional use, but failed to relocate or expand upon the applicable development regulations from NBMC 18.24.070 to NBMC 18.10.050, Table of Performance Standards.</p> <p>Since those amendments in 2010, Congress passed the “Middle Class Tax Relief and Job Creation Act of 2012” (the “Spectrum Act”) (PL-112-96; codified at 47 U.S.C. § 1455(a)), which, in part, amended the Telecommunications Act of 1996 and imposed particular requirements on local applications for modifications of wireless communication facilities.</p> <p>The NBMC currently lacks adequate provisions to regulate wireless communication facilities within the City in compliance with current federal laws, and therefore a moratorium is necessary to preclude the vesting of permit applications for construction or placement of wireless communication facilities and allow time for the City to update the development regulations associated with that use.</p> <p>A public hearing will be scheduled within 60 days of approval of the moratorium.</p> | | | | |
| <p>COMMITTEE REVIEW AND RECOMMENDATION: This item was not reviewed by the Community & Economic Development Committee.</p> | | | | |
| <p>RECOMMENDED ACTION: A Motion to approve AB16-123 an Ordinance Adopting a Six-Month Moratorium on the Acceptance of Applications for Permits or Approvals for the Placement of Wireless Communication Facilities within the City, as a first and final reading.</p> | | | | |
| RECORD OF COUNCIL ACTION | | | | |
| <i>Meeting Date</i> | <i>Action</i> | <i>Vote</i> | | |
| November 1, 2016 | Passed Ordinance 1602 | 7-0 | | |
| | | | | |



**LEGAL NOTICE OF PUBLIC HEARING AND SEPA DNS
CITY OF NORTH BEND, KING COUNTY**

EMERGENCY MORATORIUM FOR WIRELESS COMMUNICATION FACILITIES

**Notice of December 6th, 2016 Public Hearing: 7PM
Deadline for SEPA DNS Comments: December 1st, 2016**

NOTICE IS HEREBY GIVEN that the North Bend City Council has scheduled a hearing to solicit public input and comments on Ordinance 1602 – Declaring an Emergency and Adopting a Six-Month Moratorium on the Acceptance of Applications for Permits or Approvals for the Placement of Wireless Communication Facilities within the City. The public hearing will take place during the Council Meeting on Tuesday, December 6, 2016, at 7:00 PM at the Mt. Si Senior Center, 411 Main Ave. S., North Bend, WA.

Comments may be presented orally at the public hearing or submitted in writing to Lynn Hyde, Associate Planner at P.O. Box 896, North Bend, WA, 98045, or by e-mail to: lhyde@northbendwa.gov prior to 5:00 PM, Monday, December 5, 2016.

Responsible Official:

Gina Estep, Community and Economic Development Director

Threshold Determination: State Environmental Policy Act (SEPA) Determination of Non-Significance (DNS)

The City of North Bend (lead agency for this proposal) has determined that this proposal does not have a probable significant adverse impact on the environment that cannot be mitigated through compliance with the conditions of the North Bend Municipal Code and other applicable regulations. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist on file with the lead agency. This information is available to the public on request at the offices of the North Bend CED Department located at 126 E. 4th St., North Bend, WA.

This DNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for 15 days from the date of publication of this notice, allowing time for public comment.

The issuance of this DNS should not be interpreted as acceptance or approval of this proposal as presented. The City of North Bend reserves the right to deny or approve said proposal subject to conditions if it is determined to be in the best interest of the City and/or necessary for the general health, safety, and welfare of the public.

For More Information: Contact Associate Planner, Lynn Hyde at (425) 888-7646, or via email to lhyde@northbendwa.gov

Public Comment: Public comment on the SEPA DNS may be submitted before 4:30 on the comment deadline above, via mail to Lynn Hyde at the North Bend CED Department, PO Box 896, North Bend, WA, 98045, hand delivery to 126 E. 4th Street, or via email to the address above.

Posted: November 16, 2016

Published in the Snoqualmie Valley Record: November 16, 2016



City Council Agenda Bill

| | | | | |
|---|---------------------|--|-----------------|---|
| SUBJECT: | | Agenda Date: December 6, 2016 | AB16-150 | |
| A Public Hearing on Ordinance 1603, a Moratorium on the Acceptance of Applications for Development Permits and Approvals for Single-Family Dwellings within the Neighborhood Business Zone (NB), Interchange Mixed Use Zone (IMU) and within Special Districts Cost Impact: N/A Fund Source: N/A Timeline: Immediate | | Department/Committee/Individual | | |
| | | Mayor Ken Hearing | | |
| | | City Administrator – Londi Lindell | | |
| | | City Attorney - Mike Kenyon | | |
| | | City Clerk – Susie Oppedal | | |
| | | Community & Economic Development – Jamie Burrell | | X |
| | | Finance – Dawn Masko | | |
| | | Public Works – Mark Rigos | | |
| Attachments: Ordinance 1603, Public Notice | | | | |
| SUMMARY STATEMENT: After more than a decade of stymied growth resulting from the water capacity building moratorium and economic recession, the City has experienced a significant amount of growth in the recent past, with the approval of numerous subdivision and short subdivision applications for residential development totaling nearly 893 new residential housing units since 2009. The City is concerned about the effect of the rapid increase of single-family residences in the City and wishes to assess whether the City is growing consistent with the adopted vision for North Bend. The City Code currently permits single family, manufactured, mobile and cottage housing in certain commercial zoning districts, and the Council needs time to evaluate whether the mix of single-family uses within these commercial zones is consistent with the adopted vision of North Bend and compatible with the allowed commercial uses. The moratorium will allow the City adequate time to evaluate recent development and currently vested projects to determine if the City’s existing zoning regulations are producing a result that meets the community’s housing needs and is consistent with the Council’s vision for these commercially zoned areas. The moratorium exempts single building permits to construct one single-family detached dwelling (and any permitted associated accessory dwelling units) on a single existing lot. The City requires sufficient time to collectively evaluate and potentially amend the current zoning and development regulations pertaining to single-family dwellings within the NB, IMU and Special Districts and in relation to its land use vision for the City. Therefore on November 1, 2016 the City Council approved Ordinance 1603, adopting a six month moratorium on the acceptance of applications for development permits and approvals for Single-Family dwellings within the Neighborhood Business (NB) and Interchange Mixed Use (IMU) Zoning Districts and within Special Districts. The moratorium on Single-Family development within the NB, IMU and Special District zones does not prohibit construction of single-family housing elsewhere in the City. Under state law, the City must also hold a public hearing within sixty (60) days after adopting the moratorium ordinance. | | | | |
| COMMITTEE REVIEW AND RECOMMENDATION: NA - Public Hearing Only | | | | |
| RECOMMENDED ACTION: No Action Required. This is a Public Hearing Only. | | | | |
| RECORD OF COUNCIL ACTION | | | | |
| <i>Meeting Date</i> | <i>Action</i> | <i>Vote</i> | | |
| December 6, 2016 | Public Hearing Only | | | |

ORDINANCE 1603

AN ORDINANCE OF THE CITY OF NORTH BEND, WASHINGTON, DECLARING AN EMERGENCY AND ADOPTING A SIX-MONTH MORATORIUM ON THE ACCEPTANCE OF APPLICATIONS FOR PERMITS OR APPROVALS FOR SINGLE-FAMILY DWELLINGS WITHIN THE NEIGHBORHOOD BUSINESS ZONE (NB), INTERCHANGE MIXED USE ZONE (IMU) AND WITHIN SPECIAL DISTRICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING THAT THE MORATORIUM WILL TAKE EFFECT IMMEDIATELY UPON PASSAGE

WHEREAS, the City of North Bend ("City") was under a building moratorium from 1999 through 2009 because it did not have water capacity to support growth; and

WHEREAS, soon after the building moratorium was lifted, the City was affected by the great recession of 2009 through approximately 2012; and

WHEREAS, after more than a decade of stymied growth, the City has experienced a tremendous development boom over the last several years which has vested approximately 893 new housing units to the City since 2009; and

WHEREAS, the City Council is concerned about the effect of the rapid increase of single-family residences in the City and wishes to assess whether the City is growing consistent with the adopted vision for North Bend; and

WHEREAS, the City Council wishes to evaluate whether the mix of single-family and cottage housing within commercial zoning districts where such housing is currently allowed is consistent with the adopted vision of North Bend and compatible with the allowed commercial uses; and

WHEREAS, the City Council needs time to adequately evaluate recent development and currently vested projects to determine if the City's current zoning regulations are producing a result that meets the community's housing needs and is consistent with the Council's vision; and

WHEREAS, the City Council is seeking to encourage diversity of housing stock and unique architectural design; and

WHEREAS, the City Council finds that individual property owners seeking a building permit for one home on an existing lot furthers the above-stated objective of the Council,

but that the creation of multiple new lots through the subdivision process, and the likely construction by a single builder or developer of numerous similar structures within such subdivisions, does not strengthen the architectural variety of the housing stock offered within the City of North Bend; and

WHEREAS, the City Council finds that the vesting of additional permit applications for single-family dwellings within the zoning districts subject to this moratorium without an analysis of the effects of recently completed and currently vested residential development projects would be detrimental to public health, safety and welfare;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. Findings of Fact: The City Council adopts as findings of fact the recitals set forth above, which are incorporated herein by reference.

Section 2. Moratorium Established: Pursuant to RCW 35A.63.220 and RCW 36.70A.390, a moratorium is hereby imposed in the City of North Bend upon the acceptance of applications for land use permits, development permits, building permits, conditional use permits, special use permits, variances, and any other permits and approvals for new single-family dwellings, including single-family detached dwellings, designated manufactured homes, manufactured home parks, mobile homes, mobile home parks, and cottages (*see* Table of Permitted and Conditional Land Uses, NBMC 18.10.030-1.10 through -1.16), in the Neighborhood Business (NB) and Interchange Mixed Use (IMU) zoning districts and in all special districts as identified in NBMC 18.10.025.

Section 3. Exemptions: The moratorium imposed by Section 2 of this Ordinance shall not apply to the following:

- A. Overlay districts where the underlying property is zoned CLDR;
- B. Permits and approvals for a single building permit to construct one single-family detached dwelling and any permitted associated accessory dwelling units, on a single existing lot;
- C. Permits and approvals for churches, synagogues, and temples or for educational service uses; and
- D. Permits and approvals for additions or alterations to existing residential structures when such additions or alterations do not result in the creation of new residential units, and permits for structures replacing pre-existing residential structures destroyed by fire or other unintentional casualty.

Section 4. Referral to Mayor: The Mayor is requested to direct City Staff to prepare reports, memoranda, diagrams, drawings and other information summarizing the results and effect of recent development and the full scope of currently vested projects, and to prepare recommendations for code amendments, if any, necessary to guide future

development to achieve the City Council’s vision and meet the housing needs of the community, for consideration by members of the public, members of the development community, the Planning Commission, and the City Council.

Section 5. Public Hearing: Pursuant to RCW 35A.63.220 and RCW 36.70A.390, the City Council will hold a public hearing and may adopt additional findings of fact regarding this moratorium within 60 days of the adoption of this Ordinance.

Section 6. Duration/Renewal: The moratorium imposed by this Ordinance shall be in effect for a period of six months from the date this ordinance is passed and shall automatically expire at the conclusion of that six-month period unless the same is extended as provided in RCW 35A.63.220 and RCW 36.70A.390, or unless terminated sooner by the City Council.

Section 7. Severability: If any one or more section, subsection, or sentence of this Ordinance is held to be unconstitutional or invalid, such decision shall not affect the validity of the remaining portion of this Ordinance and the same shall remain in full force and effect.

Section 8. Effective Date: This Ordinance, as a public emergency ordinance necessary for the protection of the public health, public safety, public property, or public peace, shall take effect and be in full force immediately upon its adoption. Pursuant to Matson v. Clark County Board of Commissioners, 79 Wn. App. 641, 904 P.2d 317 (1995), underlying facts necessary to support this emergency declaration are included in the “WHEREAS” clauses above, all of which are adopted by reference as findings of fact as if fully set forth herein.

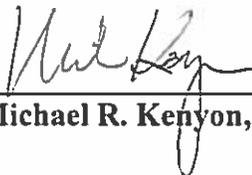
ADOPTED BY THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, AT A REGULAR MEETING THEREOF, THIS 1ST DAY OF NOVEMBER, 2016.

CITY OF NORTH BEND:



Kenneth G. Hearing, Mayor

APPROVED AS TO FORM:



Michael R. Kenyon, City Attorney

ATTEST/AUTHENTICATED:

Published: November 9, 2016
Effective: November 1, 2016



Susie Oppedal, City Clerk



City Council Agenda Bill

| | | | |
|--|---|-------------|-----------------|
| SUBJECT: | Agenda Date: November 1, 2016 | | AB16-124 |
| An Ordinance Adopting a Six-Month Moratorium on the Acceptance of Applications for Permits and Approvals for Single Family Dwellings within the Neighborhood Business (NB) and Interchange Mixed Use (IMU) Zoning Districts and within Special Districts | Department/Committee/Individual | | |
| | Mayor Ken Hearing | | |
| | City Administrator – Londi Lindell | | |
| | City Attorney - Mike Kenyon | | |
| | City Clerk – Susie Oppedal | | |
| | Community & Economic Development – Gina Estep | | X |
| | Finance – Dawn Masko | | |
| | Public Works – Mark Rigos | | |
| Cost Impact: N/A | | | |
| Fund Source: N/A | | | |
| Timeline: Immediate | | | |
| Attachments: Ordinance | | | |
| SUMMARY STATEMENT: | | | |
| <p>After more than a decade of stymied growth resulting from the water capacity building moratorium and economic recession, the City has experienced a significant amount of growth in the recent past, with the approval of numerous subdivision and short subdivision applications for residential development totaling nearly 893 new residential housing units since 2009.</p> <p>The City is concerned about the effect of the rapid increase of single-family residences in the City and wishes to assess whether the City is growing consistent with the adopted vision for North Bend. The City Code currently permits single family, manufactured, mobile and cottage housing in certain commercial zoning districts, and the Council needs time to evaluate whether the mix of single-family uses within these commercial zones is consistent with the adopted vision of North Bend and compatible with the allowed commercial uses.</p> <p>The proposed moratorium will allow the City adequate time to evaluate recent development and currently vested projects to determine if the City’s existing zoning regulations are producing a result that meets the community’s housing needs and is consistent with the Council’s vision for these commercially zoned areas.</p> <p>The moratorium exempts single building permits to construct one single-family detached dwelling (and any permitted associated accessory dwelling units) on a single existing lot.</p> | | | |
| COMMITTEE REVIEW AND RECOMMENDATION: This ordinance was not reviewed by the CED Committee due to the fact it was an emergency ordinance. | | | |
| RECOMMENDED ACTION: MOTION to approve AB16-124, an ordinance adopting a Six-Month Moratorium on the acceptance of applications for permits and approvals for Single-Family Dwellings within the Neighborhood Business (NB) and Interchange Mixed Use (IMU) Zoning Districts and within Special Districts, as a first and final reading. | | | |
| RECORD OF COUNCIL ACTION | | | |
| <i>Meeting Date</i> | <i>Action</i> | <i>Vote</i> | |
| November 1, 2016 | Passed Ordinance 1603 | 7-0 | |



**LEGAL NOTICE OF PUBLIC HEARING AND SEPA DNS
CITY OF NORTH BEND
EMERGENCY MORATORIUM FOR SF DWELLINGS IN CERTAIN ZONES
King County, Washington**

NOTICE OF PUBLIC HEARING: DECEMBER 6, 2016 at 7pm

NOTICE IS HEREBY GIVEN that the North Bend City Council has scheduled a hearing to solicit public input and comments on Ordinance 1603 – Declaring an Emergency and Adopting a Six-Month Moratorium on the Acceptance of Applications for Permits or Approvals for Single-Family Dwellings within the Neighborhood Business Zone, Interchange Mixed Use Zone and within Special Districts. The public hearing will take place during the Council Meeting on Tuesday, December 6, 2016, at 7:00 PM at the Mt. Si Senior Center, 411 Main Ave. S., North Bend, WA.

Comments may be presented orally at the public hearing or submitted in writing to Jamie Burrell, Senior Planner at P.O. Box 896, North Bend, WA, 98045, or by e-mail to: jburrell@northbendwa.gov prior to 5:00 PM, Monday, December 5, 2016 or by phone (425) 888-7642.

Responsible Official:

Gina Estep, Community and Economic Development Director

Threshold Determination: State Environmental Policy Act (SEPA) Determination of Non-Significance (DNS)

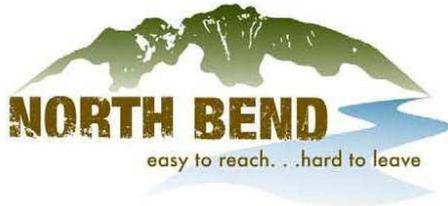
The City of North Bend (lead agency for this proposal) has determined that this proposal does not have a probable significant adverse impact on the environment that cannot be mitigated through compliance with the conditions of the North Bend Municipal Code and other applicable regulations. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist on file with the lead agency. This information is available to the public on request at the offices of the North Bend Community and Economic Development Department located at 126 E. Fourth St., North Bend, Washington.

This DNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for 15 days from the date of publication of this notice, allowing time for public comment.

The issuance of this DNS should not be interpreted as acceptance or approval of this proposal as presented. The City of North Bend reserves the right to deny or approve said proposal subject to conditions if it is determined to be in the best interest of the City and/or necessary for the general health, safety, and welfare of the public.

Posted: November 16, 2016

Published in the Snoqualmie Valley Record: November 16, 2016



City Council Agenda Bill

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|---|---------------|---|--|-----------------|---|
| SUBJECT: | | Agenda Date: December 6, 2016 | | AB16-151 | |
| An Ordinance Relating to Low Impact Development Demonstration Projects and Amending North Bend Municipal Code Chapter 18.50 | | Department/Committee/Individual | | | |
| | | Mayor Ken Hearing | | | |
| | | City Administrator – Londi Lindell | | | |
| | | City Attorney - Mike Kenyon | | | |
| | | City Clerk – Susie Oppedal | | | |
| | | Community & Economic Development – Gina Estep | | | X |
| | | Finance – Dawn Masko | | | |
| | | Public Works Director – Mark Rigos | | | |
| Cost Impact: N/A | | | | | |
| Fund Source: N/A | | | | | |
| Timeline: Immediate | | | | | |
| Attachments: Ordinance, Exhibit A – NBMC Chapter 18.50 (Clean), Planning Commission Staff Report and Recommendation Redline Version with CED Council Committee edits highlighted in yellow | | | | | |
| SUMMARY STATEMENT: <p>In an effort to best maintain the existing quality of life and healthy natural environment, the City intends to guide new development and redevelopment towards environmentally and economically sustainable approaches. Low impact development (LID) is a stormwater management approach with a basic principle that is modeled after nature: manage rainfall and stormwater runoff at the source using decentralized small-scale controls. The goal of low impact development is to mimic a site’s predevelopment hydrology as much as practical by using design techniques that infiltrate, filter, store, recharge, evaporate, and detain runoff close to its source while preserving existing mature trees.</p> <p>In 2009 this chapter of the NBMC was originally written to apply to the forested, underdeveloped property on the south side of I-90 off Ribary Way which is now being purchased for a park and trailhead and will not be developed thus protecting this area of the mature forest on Rattlesnake Mountain. In January 2016 (and amended June 2016) the City rezoned various properties in the City and UGA to Constrained Low Density Residential (CLDR) – 2 units per acre instead of 4 units per acre. In effort to better maintain a rural small town character it was recommended that NBMC Chapter 18.50 LID be amended to apply to a new CLDR zoned area north of SE 140th Street and east of Wood River (parcels 1323089035, 1323089037 and 5547560290). The proposed LID site has a density that is well suited for maximizing tree retention and is in an area with very porous soils, ideal for facilitating the use of LID stormwater techniques. This area of town is significantly forested with mature trees.</p> <p>The Planning Commission reviewed the amendments at their July 28, 2016 meeting, held a public hearing and recommended approval on August 25, 2016. The redline version attached to this agenda bill includes the Planning Commission’s recommended amendments in addition to the recommended edits proposed by the CED Council Committee during their review on September 20 and October 11, 2016. The CED Council Committee additional edits are shown in yellow highlights.</p> | | | | | |
| COMMITTEE REVIEW AND RECOMMENDATION: The Community and Economic Development Committee reviewed the Planning Commission’s recommendation at their September 20, 2016, October 11, 2016 and November 15, 2016 meeting and recommended approval. | | | | | |
| RECOMMENDED ACTION: Motion to approve AB16-151, an ordinance relating to Low Impact Development Demonstration Projects and amending North Bend Municipal Code Chapter 18.50, as a first and final reading. | | | | | |
| RECORD OF COUNCIL ACTION | | | | | |
| <i>Meeting Date</i> | <i>Action</i> | <i>Vote</i> | | | |
| December 6, 2016 | | | | | |

ORDINANCE

AN ORDINANCE OF THE CITY OF NORTH BEND, WASHINGTON, AMENDING NORTH BEND MUNICIPAL CODE (NBMC) CHAPTER 18.50 LOW IMPACT DEVELOPMENT DEMONSTRATION PROJECTS

WHEREAS, RCW 36.70.A.040 requires the City of North Bend to prepare a Comprehensive Land Use Plan under Growth Management Act (GMA) and to implement the plan with development regulations, including the zoning code, which are consistent with the plan; and

WHEREAS, RCW 36.70.A.130(4)(a) requires that the City of North Bend Comprehensive Land Use Plan and development regulations, including the zoning code, shall be subject to continuing review and evaluation by the City; and

WHEREAS, in an effort to best maintain the existing quality of life and health of the natural environment, the City intends to guide new development and redevelopment towards environmentally and economically sustainable approaches through implementation of Low Impact Development (LID) practices; and

WHEREAS, in 2009 this chapter of the NBMC was originally written to apply to the forested, underdeveloped property on the south side of I-90 off Ribary Way which is now being purchased for a park and trailhead and will not be developed; and

WHEREAS, in January 2016 (and amended June 2016) the City rezoned various properties in the City and UGA to Constrained Low Density Residential (CLDR) – 2 units per acre instead of 4 units per acre and now desires to apply Chapter 18.50 LID on a new CLDR zoned area located north of SE 140th Street and east of Wood River (parcels 1323089035, 1323089037 and 5547560290); and

WHEREAS, the proposed LID site has a density that is well suited for maximizing tree retention, and is in an area with very porous soils, ideal for facilitating the use of LID stormwater techniques; and

WHEREAS, NBMC Amendments to Chapter 18.50 were submitted to the Washington State Department of Commerce for review on August 17, 2016; and

WHEREAS, on August 24, 2016 the City of North Bend issued a State Environmental Policy Act (SEPA) Determination of Non-Significance (DNS) for the non-project amendment to the NBMC and the City received no comments on the SEPA DNS; and

WHEREAS, on August 25, 2016 the Planning Commission held public hearing and ultimately recommended to the City Council approval of the amendments to NBMC Chapter 18.50; and

WHEREAS, the Council finds that the proposed NBMC amendments address and are consistent with the requirements of the Growth Management Act; and

WHEREAS, the City followed the procedural requirements of the NBMC Chapter 20.09 to notify and advertise amendments of the Code to the public and interested agencies;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. The City Council adopts amendments to NBMC Chapter 18.50, Low Impact Development Demonstration Projects, in the form attached hereto as Exhibit A.

Section 2. Severability: Should any section, paragraph, sentence, clause or phrase of this ordinance, or its application to any person or circumstance, be declared unconstitutional or otherwise invalid for any reason, or should any portion of this ordinance be pre-empted by state or federal law or regulation, such decision or pre-emption shall not affect the validity of the remaining portions of this ordinance or its application to other persons or circumstances.

Section 3. Effective Date: This ordinance shall be published in the official newspaper of the City, and shall take effect and be in full force five (5) days after the date of publication.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, AT A REGULAR MEETING THEREOF, THIS 6TH DAY OF DECEMBER, 2016.

CITY OF NORTH BEND:

APPROVED AS TO FORM:

Kenneth G. Hearing, Mayor

Michael R. Kenyon, City Attorney

ATTEST/AUTHENTICATED:

Published:
Effective:

Susie Oppedal, City Clerk

Chapter 18.50

LOW IMPACT DEVELOPMENT DEMONSTRATION PROJECTS

Sections:

- 18.50.010 Purpose.
- 18.50.020 Definitions.
- 18.50.030 Low impact development.
- 18.50.040 Benefits.
- 18.50.050 LID demonstration projects – Established.
- 18.50.060 Review process, fees, deposits and other charges.
- 18.50.070 LID general standards.
- 18.50.080 Maintenance and education.
- 18.50.090 Streets and driveway standards.
- 18.50.100 Tree retention and protection.
- 18.50.110 Parks and trails.
- 18.50.120 Design, bulk and dimensional standards.
- 18.50.130 Clearing, grading, landscaping and integrated management practices (IMPs).
- 18.50.140 LID images and examples.

18.50.010 Purpose.

The City of North Bend is currently experiencing substantial growth. This growth will place demands on our community, transportation system, and ecosystems. As native landscapes transition into built environments, the infrastructure necessary to support the built environment will increase the impervious surface coverage as roads, parking areas, sidewalks and rooftops are constructed. These changes will reduce, disrupt or eliminate native vegetation, upper soil layers, shallow depressions, and drainage patterns that currently intercept, evaporate, store, slowly convey and infiltrate stormwater. In an effort to best maintain the existing quality of life and healthy natural environment, the City intends to guide new development and redevelopment towards environmentally and economically sustainable approaches.

18.50.020 Definitions.

“Integrated management practices” are tools used in low impact development (LID) projects for water quality treatment and flow control. The controls are integrated throughout the project and provide a landscape amenity with a stormwater treatment and flow control function. These features are intended to mimic or model nature and the predevelopment hydrology.

“Rain garden” or “bioretention cell” means an engineered and vegetated small depression in ground that allows stormwater runoff directed from impervious areas such as roofs, streets, parking areas, sidewalks, driveways, walkways and compacted gravel areas to be treated and infiltrate near the source. Native plants are used within rain gardens because they are tolerant to local climate, soils and water conditions and do not require fertilizers. Water filters through engineered soil layers before entering the groundwater system (mimicking natural conditions). Plant and small tree root systems enhance infiltration, moisture redistribution and diverse microbial populations necessary for biofiltration. Rain gardens may or may not have an under-drain and are not designed as a conveyance system.

18.50.030 Low impact development.

Low impact development (LID) is a stormwater management approach with a basic principle that is modeled after nature: manage rainfall and stormwater runoff at the source using decentralized small-scale controls. The goal of low impact development is to mimic a site’s predevelopment hydrology as much as practical by using design techniques that infiltrate, filter, store, recharge, evaporate, and detain runoff close to its source. Techniques are based on the premise that stormwater management should not be seen as stormwater disposal. Instead of capturing, conveying, managing and treating stormwater in large, costly end-of-pipe facilities, located at the bottom of drainage areas, LID addresses stormwater through small, cost-effective landscape features located at the lot and tract level. These landscape features, known as integrated management practices (IMPs), are the building blocks of LID. Almost all components of the urban environment have the potential to serve as an IMP. These include open spaces, rooftops, streetscapes, parking lots, sidewalks, landscape strips and medians. LID is a versatile approach that can be applied

equally well to new development, urban retrofits, and redevelopment projects. The most suitable LID approaches may vary from site to site due to varying surface and sub-surface geology, topography, vegetation and site configuration.

18.50.040 Benefits.

The benefits of low impact development include but are not limited to the following:

A. LID techniques protect the environment by removing pollutants from stormwater, reducing the overall volume of stormwater, managing high storm flows, and replenishing streams, wetlands and aquifers.

B. LID techniques help to reduce flooding and protect property. Reducing impervious surfaces, increasing vegetation, and dispersing and infiltrating stormwater results in less runoff. This reduces the likelihood of flooding from major storm events.

C. LID techniques help to protect human health by more effectively removing pollutants from stormwater. Untreated stormwater can be unsafe for people to drink or swim in.

D. LID techniques help to protect drinking water supplies by ensuring that rainfall infiltrates into the existing soils where it can recharge aquifers, rather than being treated as a waste and discharged to marine waters.

E. LID techniques provide cost-effective alternatives to systems upgrades. In many cases, LID systems, such as bioretention, are less expensive to use than costly stormwater vaults or land-consuming stormwater retention and storage ponds.

F. LID techniques improve the appearance and aesthetics of communities. LID projects leave more trees and plants and have less impervious surfaces, resulting in greener developments and communities.

G. LID techniques can increase public safety. One hallmark of LID is safer streets. Studies show that when vehicle traffic is slowed, there are fewer pedestrian accidents. LID techniques that serve to also slow traffic include narrower streets and integrated rain gardens doubling as traffic calming features.

H. LID techniques help to preserve a “green” and environmentally sustainable North Bend with a small town rural character.

18.50.050 LID demonstration projects – Established.

In conjunction with all zoning requirements as set forth by the North Bend Municipal Code, there is hereby established a LID demonstration project provision. Due to the existing undisturbed mature significant forest located within the CLDR zoned property located north of SE 140th Street and east of the Wood River Subdivision, one LID demonstration project is allowed at this location, subject to the requirements set forth in this chapter.

18.50.060 Review process, fees, deposits and other charges.

A. An applicant may apply for a conceptual LID demonstration project subject to the provisions set forth in this chapter. The conceptual LID demonstration project shall be an administrative approval made by the director of community and economic development. Once the applicant receives conceptual LID demonstration project approval, the applicant may submit a preliminary plat application, pursuant to NBMC Title 17 and subject to the conceptual LID demonstration project approval’s findings, conditions and project layout.

B. All applicable provisions of the North Bend Municipal Code shall stand in full effect for the conceptual LID demonstration project unless otherwise adjusted herein or approved by the City of North Bend as described in subsection C of this section.

C. If the City determines it necessary to waive any provisions of the NBMC to meet the goals and objectives of LID, the applicant must submit to the City a request in writing, identifying the code provision to be adjusted and clearly detailing the LID reasons and benefits for the alternative standard. The City shall approve, approve with condition, or deny the proposed adjustment with the conceptual LID demonstration project approval.

D. The applicant shall pay all costs associated with the review process as set forth in Chapter 20.09 NBMC.

18.50.070 LID general standards.

The following LID standards and goals shall be achieved, unless otherwise approved by the City:

A. Stormwater Flow Control. Maintain and/or restore the predeveloped, undisturbed stormwater flow volumes, flow frequencies and durations, and water quality from a developed site. Stormwater discharges shall match developed discharge durations to predeveloped durations for the range of predeveloped discharge rates from 50 percent of the two-year peak flow up to the full 50-year peak flow. The flow control objectives can be achieved through the following site design objectives:

1. Conservation Measures.

- a. Maximize retention of native forest cover and restore disturbed vegetation to intercept, evaporate and transpire precipitation. Leave a minimum of 35 percent of the total site area as open space retaining native soil and vegetation. This 35 percent requirement is in addition to sensitive areas and their buffers, and park requirements. Retain or restore native soils and vegetation on 45 percent of the developable site areas, not including road rights-of-way, trail rights-of-way and park areas. Where 45 percent is not reasonably achievable, the applicant shall demonstrate how the combined use of other LID techniques will achieve the overall goal.
- b. Preserve permeable, native soil, and enhance disturbed soils to store and infiltrate storm flows.
- c. Retain and incorporate topographic site features that slow, store, and infiltrate stormwater.
- d. Retain and incorporate natural drainage features and patterns.

2. Site Planning Techniques.

- a. Place structures on those portions of a site most suitable for development retaining sensitive lands or lands that can best provide stormwater functions as open space.
- b. Locate structures, roads and other impervious surfaces in a manner to reduce adversely affecting significant trees, soils and other natural features that provide effective infiltration of stormwater and natural habitat.
- c. Minimize total impervious surface area. Limit the effective impervious area of the total site area to no more than 27 percent.

3. Integrated Management Practices (IMP).

- a. As appropriate for each site use: bioretention, pervious surfaces, rain gardens, open space surface water dispersion, soil restoration, rooftop infiltration, and other dispersed facilities to control stormwater as close to the origin as possible by utilizing small scale distributed hydrologic controls.
- b. Create a hydrological landscape that slows storm flows and increases time of stormwater concentration.
- c. Increase reliability of the stormwater management system by providing multiple LID flow control practices.
- d. Integrate stormwater controls into the development design and utilize the controls as amenities. Create a multifunctional landscape.
- e. Reduce the reliance on traditional conveyance and pond technologies. The use of traditional conveyance and pond technologies to manage stormwater quality and quantity should only be considered after all other LID techniques have been considered and used to the greatest extent possible.
- f. Bioretention areas or rain gardens shall be shallow landscaped depressions and/or swales with a designed soil mix and plants adapted to the local climate and soil moisture. Landscaping with turf and/or sod in the bioretention areas should be used sparingly. To the extent practical, bioretention areas shall be integrated throughout the site to serve as landscape amenities and receive stormwater from small contributing areas.

g. General design requirements for all bioretention features or IMPs shall meet or exceed Chapter 6 of the Low Impact Development Technical Guidance Manual for Puget Sound and the most current best management practices.

h. Types of IMPs.

i. Rain gardens or bioretention cells are typically integrated into gardens on individual lots and tracts.

ii. Off-line bioretention swales incorporate the same design features as a rain garden or bioretention cell; however, bioretention swales are designed as part of a conveyance system and have relatively gentle side slopes. Contains a common flow entrance and flow exit, and the bioretention invert placed below the swale invert to provide the proper depth.

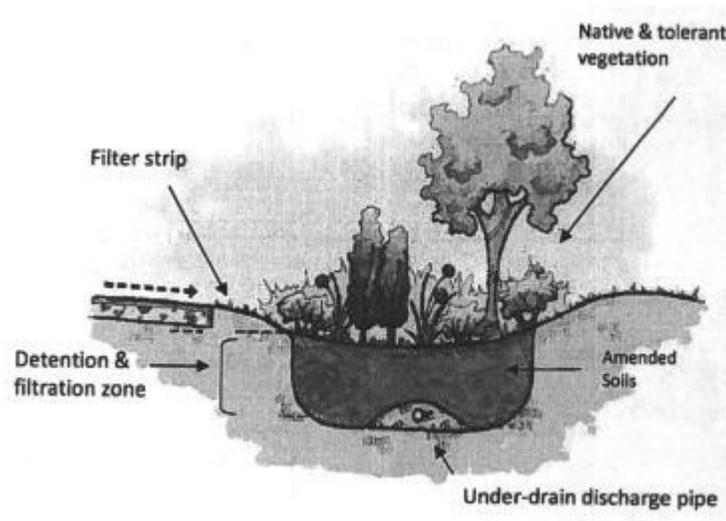
iii. In-line bioretention swales are hybrid facilities usually installed along roadways that incorporate bioretention cell and swale characteristics.

iv. Weep garden bioretention areas are used for steeper gradients where a retaining wall is used for structural support and for allowing storm flows directly to the facility to seep out.

v. Sloped bioretention-use vegetation barriers are designed for a specific hydraulic capacity, placed along sloped contours.

vi. Tree box filters are street tree plantings with an enlarged planting pit for additional storage, a storm flow inlet from the street, and an under-drain system.

vii. The diagram below shows the basic components of a bioretention cell. Final design features and details shall be reviewed and approved by the City.



18.50.080 Maintenance and education.

A. A Home Owners Association shall develop a long-term maintenance program, to be reviewed and approved by the City prior to final plat approval, with clear and enforceable guidelines to best maintain the LID features of the plat. The applicant shall provide a guide that may be supplemented and distributed by the homeowners' association to lot owners that explains the purpose and maintenance of the LIDs and IMPs within the plat.

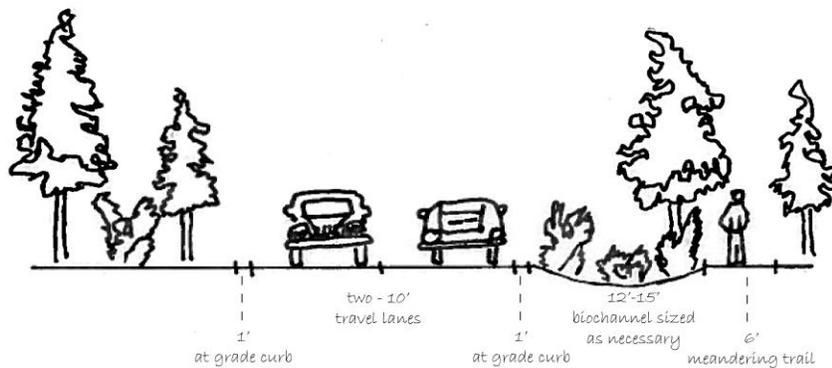
B. A note(s) shall be placed on the face of each final plat that clearly describes and details the long-term maintenance requirements of the LID features of the plat and provides for guaranteed performance of said features. These requirements shall also be included in the neighborhood's covenants, conditions and restrictions (CC&Rs), requiring proper assessments for maintenance and upkeep of said features. The final plat note shall be clear that in the event the homeowners' association does not properly maintain said features, the City will perform the necessary maintenance and charge the homeowners' association for time and expense of the maintenance work.

C. An Educational Packet and Tree Protection Plan, which shall be reviewed and approved by the City of North Bend prior to final plat approval, and distributed, by the homeowners' association, to all new homeowners explaining the hydrologic function and the long-term maintenance needs and requirements of the LID features.

18.50.090 Streets and driveway standards.

A. Residential streets shall have a minimum width of a 20-foot drivable surface, with an at-grade twelve-inch cement border and no parking allowed. Visitor parking shall be provided at a minimum of two spaces per acre in the form of pull-out areas along residential streets, so long as the 20-foot minimum travel width is provided. No more than two contiguous parking spaces shall be allowed. Any two contiguous parking spaces shall be separated by approximately 30 feet of Type II landscaping, tree preservation or biochannel. The internal street right-of-way shall be approximately 43 feet in width and include the following features; two 10-foot lanes, an at grade twelve inch concrete border on both edges, a 12 to 15 foot landscaped functional biochannel, a 6 foot asphalt paved meandering trail located behind the biochannel and tree preservation through the site and within the right of way when feasible. The width of the right-of-way may exceed 43 feet in an effort to include and preserve significant trees and meander the street through the trees. Pedestrian level down-lite full cutoff lighted bollards, to be maintained by the homeowners association, shall be provided along the trail to provide additional safety.

Street Design Sections for LID



B. Internal circulation and road system shall be provided as generally shown in 18.50.140, Detail A, Site Development and Street below, Streets shall be curvilinear and meander through the development incorporating significant trees, natural features and vegetation where feasible and subject to compliance with emergency response needs. Given the street configuration, dead ends shall be avoided.

C. Residential streets shall be signed "no parking, fire lane" to ensure the 20-foot drivable area remains clear for emergency vehicles.

D. To preserve significant trees or valuable tree clusters, short one-way street sections should be integrated into the street design and plat layout where feasible. The width of one-way street sections shall be 9-12 foot paved.

E. Street widths shall be designed to preserve a 28-foot inside turning radius and 48-foot outside turning radius for fire truck access. The actual fire truck radii will be confirmed upon review of the development application.

F. Whenever feasible, significant trees shall be retained and integrated into the roadway design; however, in no case shall the retention of tree canopy occupy the clear drivable area required for emergency vehicles of 18 feet in height and width.

G. The City shall own and maintain the paved street section. Subject to a maintenance agreement and annual schedule, the homeowners' association shall maintain the gravel shoulders.

H. Driveway cuts shall be nine to twelve feet wide. Sixty-five percent of the driveways shall be constructed with a pervious material. Pervious materials allow rainwater to pass directly through the pavement and into the soil at an infiltration rate to be approved by the City engineer. Allowed materials, including gravel, shall meet this requirement. The homeowners' association shall perform regular maintenance of the pervious driveway or otherwise require homeowner to conducted regular maintenance of their own driveway.

I. Signage shall be provided at each ingress and egress point of the plat establishing a speed limit of 15 miles per hour and indicating pedestrian use of roadways.

J. Frontage along SE 140th Street - A sidewalk in the form of an 6 foot wide asphalt paved pathway shall be provided along the frontage of the development along SE 140th Street in lieu of conventional curb/gutter /planter strip and sidewalk. The sidewalk shall meander within the right of way and through the significant tree retention buffer along SE 140th Street. Stormwater for SE 140th Street shall be accommodated via a separated landscaped bio-channel, sized as necessary, and located between the edge of pavement and the significant tree retention buffer. The paved pathway may also be located partially or entirely within the SE 140th tree preservation buffer as described under 18.50.100(D), below. Pedestrian level down-lite full cutoff lighted bollards shall be provided along the trail to provide additional safety for children to walk to school.

18.50.100 Tree retention and protection.

A. An average of 30 percent of all significant trees located within the developable area shall be retained. The developable area is considered areas where lots, roads and public infrastructure are located. Sensitive areas and their buffers, perimeter buffers and the buffer along SE 140 is not considered to be within the developable area. .33 significant tree credits will be given for every healthy well located 12' or taller acceptable tree species up to the significant tree diameter threshold for trees established on the site. The retained and planted trees to satisfy the minimum 30% tree average shall be documented on a long term tree plan for the site.

B. Significant tree stands shall be retained within the street right-of-way where feasible, subject to compliance with emergency response needs. Streets shall meander or split to avoid trees. Utility corridors must be identified and recognize the protection of retained trees. Methods for working near, over or under tree root systems must be described to protect these trees during construction.

C. Buffers - A tree-preservation buffer of a minimum width of 30 feet shall be retained adjacent to the right-of-way of SE 140th Street and between said site and the adjacent Wood River neighborhood. These buffers shall be provided within a tract to be owned and maintained by the homeowners association of the development. The paved pathway that serves as the sidewalk along SE 140th Street may be located within this buffer, meandering through the trees, subject to a public use easement to the City of North Bend.

D. Significant trees may be limbed up or removed to allow for the below-listed activities. In no case shall the two remaining significant trees located on any one lot be removed. Trees removed for these purposes shall be replaced to maintain the 40% coverage in locations acceptable for the long term.

1. Solar access for rooftop solar panels;
2. Urban yard garden space.

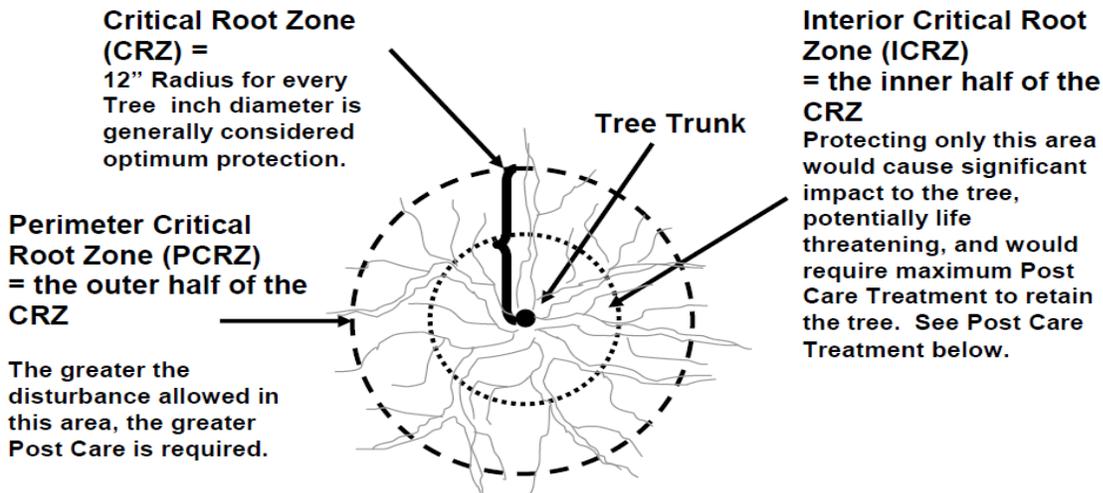
E. Significant trees may be limbed up to 30 percent of the tree height, thinned for windfall management and light, and dead or dangerous limbs removed in accordance with removal specifications from a certified arborist. Any tree that must be removed for an reason that exceeds the maximum allowed number of trees to remove, shall be replaced with three 12' conifers (DSH), planted on the lot, near the lot or in the plat to contribute and maintain the minimum tree cover canopy. City arborist shall approve and confirm planting. A bond and three year warranty is required on any planting.

F. The homeowners' association shall contract with a certified arborist for ongoing tree care of the entire neighborhood including trees located on the private lots, open spaces, critical areas and public rights-of-way. A tree removal permit shall be submitted to the City for review and approval prior to removal of any tree. The information submitted with the tree removal permit shall reference the Tree Protection Plan and confirm the retention and maintenance of the required tree cover. All pruning shall be done in accordance with ANSI Standards

G. To the maximum degree practicable, the tree canopy over the entire site shall remain a minimum of 40 percent site area coverage in perpetuity. Supplemental plantings may be required over time. A Tree Protection Plan, produced by the homeowner’s association, shall annually confirm a record of the retained trees and propose additional plantings to maintain the 40 percent canopy coverage required on the whole site.

H. Any clearing, grading and construction on any lot and the whole site overall, shall require a Tree Protection Plan (TPP) specific to that area or lot and the trees on it. The TPP shall identify all protected trees and all work proposed around and near those trees. The TPP shall describe all methods of tree protection that are proposed to mitigate for the work to be done onsite. The developer shall hire a Certified Arborist to provide this plan, review implementation and to be onsite during work within the Interior Critical Root Zone (CRZ). The Developers Certified arborist shall have this plan approved by the City’s Certified Arborist. The City’s Arborist shall review, approve and monitor the work to confirm that tree protection methods are being followed.

1. Soil compaction shall not be allowed over any Interior Critical Root Zone and limited access over the Perimeter CRZs. As a general guideline, the tree Critical Root Zone shall be defined as an area equal to a one-foot radius for every one inch trunk diameter at “DSH” means the diameter at standard height; the diameter of the trunk measured 54 inches (4.5 feet) above grade. See detail below for an explanation of the CRZ. The entire CRZ is divided in half with the outside 50% of the CRZ described as the Perimeter CRZ and the inside 50% of the CRZ as the Interior CRZ. At all times, the Interior CRZ shall be retained without disturbance and protected from soil compaction with woodchips and/or steel plates. Any intrusion into the Interior CRZ shall be approved and monitored by the City Arborist. Work within the perimeter CRZ is allowed with limitations and protection.



I. Removal of any significant tree shall require a permit issued by the City of North Bend. Applications for tree removal must comply with the standards found in this chapter and Chapter 19.10 NBMC. In the event of a conflicting standard, the more stringent shall apply

18.50.110 Parks and trails.

A. Trails shall be an integral part of the development allowing for pedestrian connectivity and recreational opportunities. Trails should perform similar to the sidewalk providing for safe, well connected pedestrian routes throughout the neighborhood. Trails shall be provided as generally shown in 18.50.140 Detail A, Site Development and Street Detail below. B.A five-foot wide meandering trail shall be provided within the buffer areas located between the site and the adjacent Wood River neighborhood extending from SE 140th Street to the Snoqualmie Middle Fork River to provided public access opportunity to the river. Additional five-foot wide trail connections shall be provided through the site to the Snoqualmie Middle Fork River as generally provided in Detail A. below.

C. Allow trail access throughout the site for human interaction with the natural environment. Trails may cross into and through critical areas and buffers upon receipt of applicable regulatory approvals to provide for an integrated trail

system and to access noncritical open space areas. All trails located within a critical area buffer shall comply with NBMC Title 14, Environmental Protection.

D. Trail surface shall be constructed of crushed rock at a minimum of six inches in depth. Soft-surface materials (hog fuel) may be utilized in place of crushed rock as approved by the community and economic development director, depending on the site and trail characteristics and anticipated trail usage. All trails within critical area buffers shall be provided with soft-surface material.

E. Chapter 17.25 NBMC, Residential Recreation and Common Space Requirements, shall be met, unless otherwise adjusted herein or otherwise waived by the City of North Bend. Recreational spaces, as required by Chapter 17.25 NBMC, may be allowed to be located in areas of the development not directly adjacent to public streets, so long as access is provided by a street or trail and natural significant features are incorporated into the recreational area such as tree groves, wetland viewing, vistas or other natural features. In order to encourage the retention of significant trees and to minimize site grading, requirements to provide mini-parks or consolidated parks may be met by providing open space improved with trails, seating, educational interpretive signage, picnic areas, pea patches and other related amenities intended to provide enjoyment of the natural features of the site, so long as that portion of the total area of open space, trails and amenities located in otherwise developable area equals the minimum size of mini-parks and consolidated parks for the property This requirement is in addition to the 35 percent open space provision established in 18.50.070.A.1 and shall not include the buffer area along 140th Street, the buffer area between this site and Wood River or sensitive areas and their buffers.

18.50.120 Design, bulk and dimensional standards.

A. The overall gross density shall not exceed two dwelling units per acre with a minimum lot size of 18,000 square feet.

B. The placement of structures on the lots shall take into consideration the location and retention of significant trees. The LID demonstration preliminary plat application shall include a structure placement plan, which shall clearly identify the significant trees to be retained on each lot and the buildable area of each lot.

C. Where feasible, orient the long axis of the structure along topographic contours to reduce cutting and filling.

D. Where feasible, control roof water within the lot with rain gardens, infiltration trenches, dispersion systems and other IMPs.

E. Use low impact foundations, including but not limited to step foundation, pin foundation, requiring minimal excavation where feasible.

F. Retaining walls shall be kept to a minimum height, not exceeding approximately 4.5 feet in height.

18.50.130 Clearing, grading, landscaping and integrated management practices (IMPs).

A. Limit clearing and grading to road, trail, parking, utility, building pad, park areas and areas required for storing and blending excavation topsoil and mulch and for construction staging. All other land area should be delineated and protected from compaction with construction fencing.

B. Limit construction access to where future roads and utility corridors will be placed to the extent reasonably feasible.

C. Limit overall project cut and fill through efficient road design and lot layout.

D. Retain natural topographic features that slow and store storm flows.

E. Retaining native soil and vegetation is a primary objective.

F. Stockpile and reuse excavated topsoil to amend disturbed areas.

G. The clearing limits shall be clearly flagged and signed.

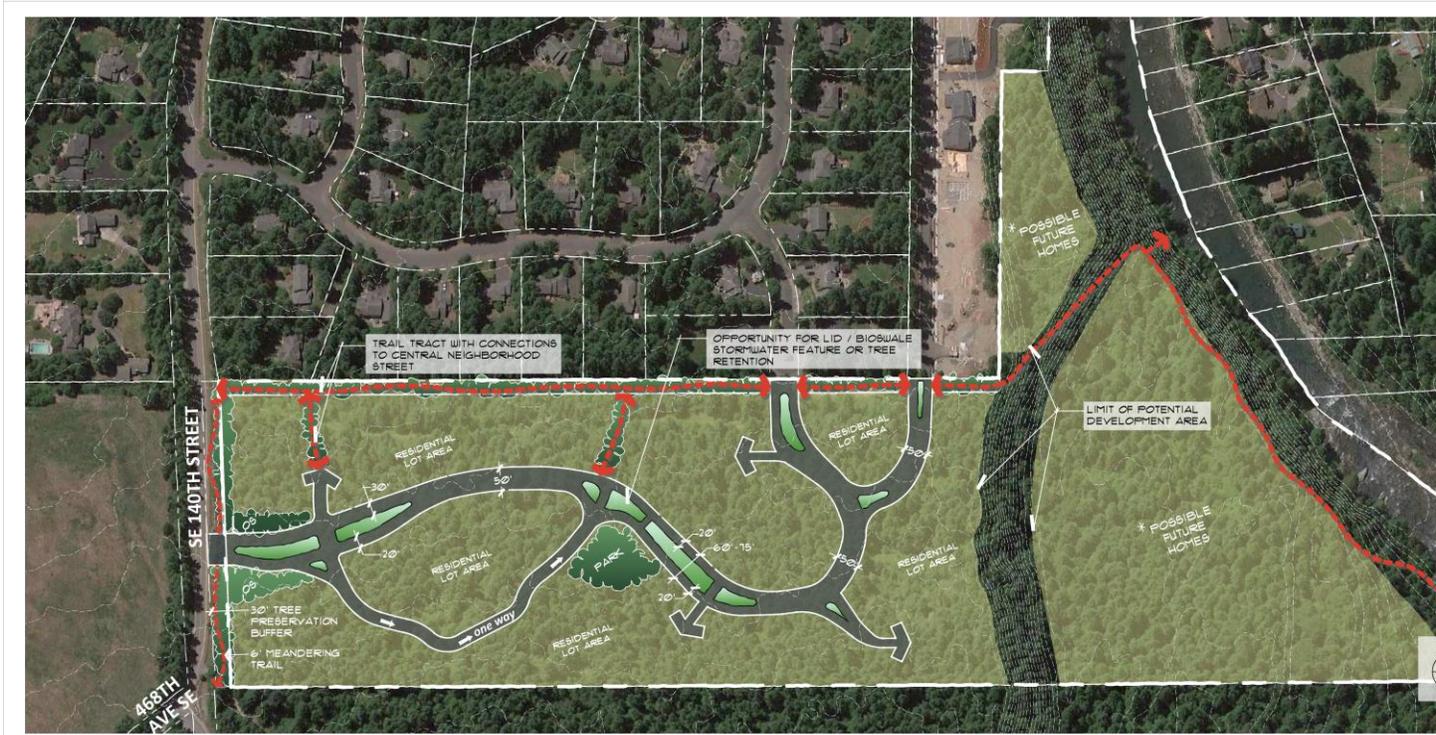
H. Once the clearing limits are clearly flagged and signed, the equipment operators shall walk the site with the City engineer or his/her designee.

North Bend Municipal Code
Chapter 18.50 LOW IMPACT DEVELOPMENT
DEMONSTRATION PROJECTS

I. All disturbed areas shall be restored and revegetated to meet NBMC 18.18.080, Type 2 landscaping, or as otherwise approved by the City.

18.50.140 LID images and examples.

A. Site Development and Street Detail



B. Use of native vegetation and pervious pavers.



North Bend Municipal Code
Chapter 18.50 LOW IMPACT DEVELOPMENT
DEMONSTRATION PROJECTS

C. Beaux arts – residential streetscape example: tree preservation, narrow winding streets and integrated significant trees/vegetation.



C. Residential lot with integrated IMPs/rain gardens.



**PLANNING COMMISSION FINDINGS, CONCLUSIONS AND
RECOMMENDATION**

An Amendment to North Bend Municipal Code Chapter 18.50 Low Impact Development
Demonstration Projects

To: Planning Commission
Date: August 17, 2016
From: Jamie Burrell, Senior Planner

This chapter of the NBMC was originally written to apply to the forested, undeveloped property on the south side of I-90 off Ribary Way. The provisions of this chapter are intended to preserve the forested character of the property and minimize development impacts to the greatest extent possible. The City is proposing this LID project be allowed on a new property north of SE 140th Street and east of Wood River since the City is now in the process of acquiring the original LID property for park and trailhead. The property is located within the Constrained Low Density Residential (CLDR) Zone -2 units per acre, which density would be well suited for a project that maximizes tree retention, and is in an area with very porous soils, facilitating use of LID stormwater techniques.

FINDINGS:

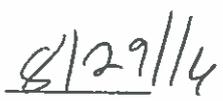
- 1) Pursuant to RCW 36.70A.106, the draft Ordinance was forwarded to CTED - Growth Management Services on August 17, 2016.
- 2) A State Environmental Policy Act Determination of Nonsignificance was issued on August 24, 2016 and published in the Valley Record. The Environmental Checklist and SEPA Determination are available upon request.
- 3) A public hearing has been scheduled for the August 25, 2016 Planning Commission Meeting. A notice of Public Hearing was published in the Valley Record on August 10, 2016.
- 4) The proposed amendments are consistent with the procedures established in NBMC 20.08, *Comprehensive Plan and Development Regulations Amendment Procedures*.
- 5) The proposed amendments are consistent with and effectively carry out the policies of the Comprehensive Plan, specifically policy Land Use Goal 1 and policy 1.4; Land Use Goal 3 and policy 3.11 and Critical Area Goal 3 and Policy 3.3.

CONCLUSION AND STAFF RECOMMENDATION:

Based on the amendments description and findings above, Staff recommends the amendments to North Bend Municipal Code Chapter 18.50. *LID Demonstration Projects*, as provided on the attached Exhibit A.



Director of Community and Economic Development



Date

PLANNING COMMISSION RECOMMENDATION

Based on the findings above the North Bend Planning Commission recommends **APPROVAL/DENIAL** of the proposed amendments to North Bend Municipal Code Chapter 18.50, *LID Demonstration Projects*, as provided on the attached Exhibit A.


Planning Commission Chair

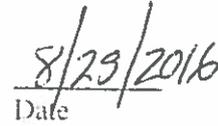

Date

EXHIBIT LIST:

Exhibit A – Chapter 18.50 NBMC Amended Code Language

Note: CED Committee edits are highlighted in yellow

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Chapter 18.50

LOW IMPACT DEVELOPMENT DEMONSTRATION PROJECTS

Sections:

- 18.50.010 Purpose.
- 18.50.020 Definitions.
- 18.50.030 Low impact development.
- 18.50.040 Benefits
- 18.50.050 LID demonstration projects – Established.
- 18.50.060 Review process, fees, deposits and other charges.
- 18.50.070 LID general standards.
- 18.50.080 Maintenance and education.
- 18.50.090 Streets and driveway standards.
- 18.50.100 Tree retention and protection.
- 18.50.110 Parks and trails.
- 18.50.120 Design, bulk and dimensional standards.
- 18.50.130 Clearing, grading, landscaping and integrated management practices (IMPs).
- 18.50.140 LID images and examples.

18.50.010 Purpose.

~~In April of 2009, the city of North Bend realized the end of a 10-year development moratorium that was imposed due to insufficient water rights to provide service for new developments. With water now available and future pending annexations, the City of North Bend is likely to experience currently experiencing substantial growth over the next 20-year planning horizon.~~ This growth will place demands on our community, transportation system, and ecosystems. As native landscapes transition into built environments, the infrastructure ~~necessary needs necessary~~ to support the built environment will increase the impervious surface coverage as roads, parking areas, sidewalks and rooflops are constructed. These changes will reduce, disrupt or eliminate native vegetation, upper soil layers, shallow depressions, and drainage patterns that currently intercept, evaporate, store, slowly convey and infiltrate stormwater. In an effort to best maintain the existing quality of life and healthy natural environment, the City intends to guide new development and redevelopment towards environmentally and economically sustainable approaches. ~~(Ord. 1366 § 1 (Exh. A (part)), 2009).~~

18.50.020 Definitions.

~~"Hollywood driveways" means a paving technique for driveways that reduces the amount of impervious surface by paving only the wheel lanes, leaving a dividing strip of grass or pervious material between the paved wheel lanes.~~

"Integrated management practices" are tools used in low impact development (LID) projects for water quality treatment and flow control. The controls are integrated throughout the project and provide a landscape amenity with a stormwater treatment and flow control function. These features are intended to mimic or model nature and the predevelopment hydrology.

"Rain garden" or "bioretention cell" means an engineered and vegetated small depression in ground that allows stormwater runoff directed from impervious areas such as roofs, streets, parking areas, sidewalks, driveways, walkways and compacted gravel areas to be treated and infiltrate near the source. Native plants are ~~used required~~ within rain gardens because they are tolerant to local climate, soils and water conditions and do not require fertilizers. Water filters through engineered soil layers before entering the groundwater system (mimicking natural conditions). Plant and small tree root systems enhance infiltration, moisture redistribution and diverse microbial populations necessary for biofiltration. ~~Rain gardens may or may not have an under-drain and are not designed as a conveyance system. (Ord. 1366 § 1 (Exh. A (part)), 2009).~~

18.50.030 Low impact development.

Low impact development (LID) is a stormwater management approach with a basic principle that is modeled after nature: manage rainfall and stormwater runoff at the source using decentralized small-scale controls. The goal of low

impact development is to mimic a site's predevelopment hydrology as much as practical by using design techniques that infiltrate, filter, store, recharge, evaporate, and detain runoff close to its source. Techniques are based on the premise that stormwater management should not be seen as stormwater disposal. Instead of capturing, conveying, managing and treating stormwater in large, costly end-of-pipe facilities, located at the bottom of drainage areas, LID addresses stormwater through small, cost-effective landscape features located at the lot and tract level. These landscape features, known as integrated management practices (IMPs), are the building blocks of LID. Almost all components of the urban environment have the potential to serve as an IMP. These include open spaces, rooftops, streetscapes, parking lots, sidewalks, landscape strips and medians. LID is a versatile approach that can be applied equally well to new development, urban retrofits, and redevelopment projects. The most suitable LID approaches may vary from site to site due to varying surface and sub-surface geology, topography, vegetation and site configuration. (Ord. 1366 § 1 (Exh. A (part)), 2009).

18.50.040 Benefits.

The benefits of low impact development include but are not limited to the following:

- A. LID techniques protect the environment by removing pollutants from stormwater, reducing the overall volume of stormwater, managing high storm flows, and replenishing streams, wetlands and aquifers.
- B. LID techniques help to reduce flooding and protect property. Reducing impervious surfaces, increasing vegetation, and dispersing and infiltrating stormwater results in less runoff. This reduces the likelihood of flooding from major storm events.
- C. LID techniques help to protect human health by more effectively removing pollutants from stormwater. Untreated stormwater can be unsafe for people to drink or swim in.
- D. LID techniques help to protect drinking water supplies by ensuring that rainfall infiltrates into the existing soils where it can recharge aquifers, rather than being treated as a waste and discharged to marine waters.
- E. LID techniques provide cost-effective alternatives to systems upgrades. In many cases, LID systems, such as bioretention, are less expensive to use than costly stormwater vaults or land-consuming stormwater retention and storage ponds.
- F. LID techniques improve the appearance and aesthetics of communities. LID projects leave more trees and plants and have less impervious surfaces, resulting in greener developments and communities.
- G. LID techniques can increase public safety. One hallmark of LID is safer streets. Studies show that when vehicle traffic is slowed, there are fewer pedestrian accidents. LID techniques that serve to also slow traffic include narrower streets and integrated rain gardens doubling as traffic calming features.
- H. LID techniques help to preserve a "green" and environmentally sustainable North Bend ~~with a small town rural character that translates to community pride and the ability to attract and retain businesses, employees and residents.~~ (Ord. 1366 § 1 (Exh. A (part)), 2009).

18.50.050 LID demonstration projects – Established.

In conjunction with all zoning requirements as set forth by the North Bend Municipal Code, there is hereby established a LID demonstration project provision. Due to the existing undisturbed mature significant forest located within the CLDR zoned ~~properties property~~ located ~~south of Interstate 90 north of SE 140th Street and east of the Wood River Subdivision,~~ one LID demonstration project is allowed ~~at this location within LDR residential zoned properties~~ located south of Interstate 90 and west of Exit 31, I-90, subject to the requirements set forth in this chapter. (Ord. 1366 § 1 (Exh. A (part)), 2009).

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18.50.060 Review process, fees, deposits and other charges.

A. An applicant may apply for a conceptual LID demonstration project subject to the provisions set forth in this chapter. The conceptual LID demonstration project shall be an administrative approval made by the director of community and economic development. Once the applicant receives conceptual LID demonstration project approval, the applicant may submit a preliminary plat application, pursuant to NBMC Title 17 and subject to the conceptual LID demonstration project approval's findings, conditions and project layout.

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B. All applicable provisions of the North Bend Municipal Code shall stand in full effect for the conceptual LID demonstration project unless otherwise adjusted herein or approved by the ~~city~~ City of North Bend as described in subsection C of this section.

C. If the ~~City~~ City determines it necessary to waive any provisions of the NBMC to meet the goals and objectives of LID, the applicant must submit to the ~~City~~ City a request in writing, identifying the code provision to be adjusted and clearly detailing the LID reasons and benefits for the alternative standard. The ~~City~~ City shall approve, approve with condition, or deny the proposed adjustment with the conceptual LID demonstration project approval.

D. The applicant shall pay all costs associated with the review process as set forth in Chapter 20.09 NBMC. (~~Ord. 1366 § 4 (Exh. A (part)), 2009~~).

18.50.070 LID general standards.

The following LID standards and goals shall be achieved, unless otherwise approved by the ~~city~~ City:

A. Stormwater Flow Control. Maintain and/or restore the predeveloped, undisturbed stormwater flow volumes, flow frequencies and durations, and water quality from a developed site. Stormwater discharges shall match developed discharge durations to predeveloped durations for the range of predeveloped discharge rates from 50 percent of the two-year peak flow up to the full 50-year peak flow. The flow control objectives can be achieved through the following site design objectives:

1. Conservation Measures.

a. Maximize retention of native forest cover and restore disturbed vegetation to intercept, evaporate and transpire precipitation. Leave a minimum of ~~65-35 percent~~ percent of the total site area as open space retaining native soil and vegetation. ~~This 35 percent requirement is in addition to sensitive areas and their buffers, and park requirements.~~ Retain or restore native soils and vegetation on 45 percent of the developable site areas, not including road rights-of-way, trail rights-of-way and park areas. Where 45 percent is not reasonably achievable, the applicant shall demonstrate how the combined use of other LID techniques will achieve the overall goal.

b. Preserve permeable, native soil, and enhance disturbed soils to store and infiltrate storm flows.

c. Retain and incorporate topographic site features that slow, store, and infiltrate stormwater.

d. Retain and incorporate natural drainage features and patterns.

2. Site Planning Techniques

a. Place structures on those portions of a site most suitable for development retaining sensitive lands or lands that can best provide stormwater functions as open space.

b. Locate structures, roads and other impervious surfaces in a manner to reduce adversely affecting significant trees, soils and other natural features that provide effective infiltration of stormwater and natural habitat.

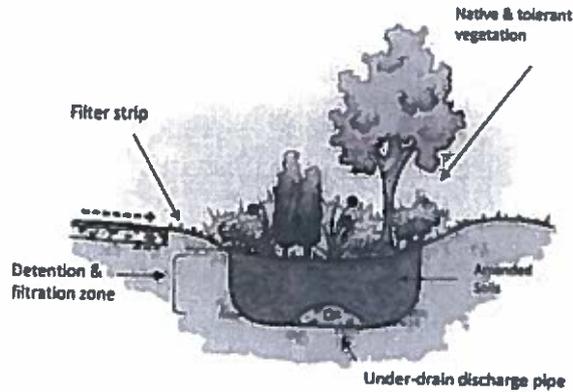
c. Minimize total impervious surface area. Limit the effective impervious area of the total site area to no more than 27 percent.

3. Integrated Management Practices (IMP).

a. As appropriate for each site use: bioretention, pervious surfaces, rain gardens, open space surface water dispersion, soil restoration, rooftop infiltration, and other dispersed facilities to control stormwater as close to the origin as possible by utilizing small scale distributed hydrologic controls.

b. Create a hydrological landscape that slows storm flows and increases time of stormwater concentration.

- c. Increase reliability of the stormwater management system by providing multiple LID flow control practices.
- d. Integrate stormwater controls into the development design and utilize the controls as amenities. Create a multifunctional landscape.
- e. Reduce the reliance on traditional conveyance and pond technologies. The use of traditional conveyance and pond technologies to manage stormwater quality and quantity should only be considered after all other LID techniques have been considered and used to the greatest extent possible.
- f. Bioretention areas or rain gardens shall be shallow landscaped depressions and/or swales with a designed soil mix and plants adapted to the local climate and soil moisture. Landscaping with turf and/or sod in the bioretention areas should be used sparingly. To the extent practical, bioretention areas shall be integrated throughout the site to serve as landscape amenities and receive stormwater from small contributing areas.
- g. General design requirements for all bioretention features or IMPs shall meet or exceed Chapter 6 of the Low Impact Development Technical Guidance Manual for Puget Sound and the most current best management practices.
- h. Types of IMPs.
 - i. Rain gardens or bioretention cells are typically integrated into gardens on individual lots and tracts.
 - ii. Off-line bioretention swales incorporate the same design features as a rain garden or bioretention cell; however, bioretention swales are designed as part of a conveyance system and have relatively gentle side slopes. Contains a common flow entrance and flow exit, and the bioretention invert placed below the swale invert to provide the proper depth.
 - iii. In-line bioretention swales are hybrid facilities usually installed along roadways that incorporate bioretention cell and swale characteristics.
 - iv. Weep garden bioretention areas are used for steeper gradients where a retaining wall is used for structural support and for allowing storm flows directly to the facility to seep out.
 - v. Sloped bioretention-use vegetation barriers are designed for a specific hydraulic capacity, placed along sloped contours.
 - vi. Tree box filters are street tree plantings with an enlarged planting pit for additional storage, a storm flow inlet from the street, and an under-drain system.
 - vii. The diagram below shows the basic components of a bioretention cell. Final design features and details shall be reviewed and approved by the [cityCity](#).



~~(Ord. 1366 § 4 (Exh. A (part)), 2009).~~

18.50.080 Maintenance and education.

A. ~~A Home Owners Association~~ ~~The applicant shall develop a long-term maintenance program to be reviewed and approved by the City prior to final plat approval, with clear and enforceable guidelines to best maintain the LID features of the plat, preserve the IMPs and to supplement, if needed, the tree preservation under NBMC. The applicant shall provide a guide that may be supplemented and distributed by the homeowners' association to lot owners within the demonstration project that explains the purpose and maintenance of the LIDs and IMPs within the plat.~~

B. A note(s) shall be placed on the face of each final plat that clearly describes and details the long-term maintenance requirements of this LID features of the plat and provides for guaranteed performance of said features, including but not limited to tree preservation, limited impervious surface requirements, maintenance of the integrated management practices, etc. and provide for guaranteed performance of said features. These requirements shall also be included in the neighborhood's covenants, conditions and restrictions (CC&Rs), requiring proper assessments for maintenance and upkeep of said features. The final plat note shall be clear that in the event the homeowners' association does not properly maintain said features, the City will perform the necessary maintenance and charge the homeowners' association for time and expense of the maintenance work.

C. An Educational Packet and Tree Protection Plan, which shall be to be reviewed and approved by the City of North Bend prior to final plat approval, and shall be distributed provided, by the homeowners' association, to all new homeowners explaining the hydrologic function and the long-term maintenance needs and requirements of the LID features, LID function of the neighborhood and the long-term maintenance needs and requirements. ~~(Ord. 1366 § 4 (Exh. A (part)), 2009).~~

18.50.090 Streets and driveway standards.

A. Residential streets shall have a minimum width of an 20-18-foot drivable surface, with an at-grade twelve inch cement border and with no parking allowed within the 18-foot street width. Visitor parking shall be provided at a minimum of two spaces per acre allowed in the form of pull-out areas along residential streets, so long as the 20-18-foot minimum travel width is provided for. No more than two contiguous parking spaces shall be allowed. Any two contiguous parking spaces shall be separated by approximately 30 feet of Type II landscaping, tree preservation or biochannel. The internal street right-of-way shall be approximately 43 feet in width and include the following features: two 10-foot lanes, an at grade twelve inch concrete border on both edges, a 12 to 15 foot landscaped functional biochannel, a 6 foot asphalt paved meandering trail located behind the biochannel and tree preservation through the site and within the right of way when feasible. The width of the right-of-way may exceed 43 feet in width in an effort to include and preserve significant trees and meander the street through the trees. Pedestrian level down-lite full cutoff lighted bollards, to be maintained by the homeowners association, shall be provided along the trail to provide additional safety.

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Street Design Sections for LID



~~B. Internal circulation and road system shall be provided as generally shown in 18.50.140, Detail A, Site Development and Street below. Streets shall be curvilinear and meander through the development incorporating significant trees, natural features and vegetation where feasible and subject to compliance with emergency response needs. Given the street configuration, dead ends shall be avoided. Street Surfaces: Pervious paving materials are encouraged, minimum 12- to 14-foot paved with hardened drivable shoulders able to support emergency vehicles. Shoulders may be gravel or other materials as approved by the city. Gravel shoulders shall be contained in such a way that gravel does not spread to roadway or other hard surfaces. A gravel containment and compaction standard shall be provided to the city for review and approval as part of the preliminary plat.~~

C. Residential streets shall be signed "no parking, fire lane" to ensure the 2048-foot drivable area remains clear for emergency vehicles.

D. To preserve significant trees or valuable tree clusters, short one-way street sections should be integrated into the street design and plat layout where feasible. The width of one-way street sections shall be nine- to 12-foot paved.

~~E. Streets shall be curvilinear and meander through the development incorporating significant trees, natural features and vegetation where feasible and subject to compliance with emergency response needs. Given the narrow street configuration, dead ends shall be avoided.~~

~~FE.~~ Street widths shall be designed to preserve a 28-foot inside turning radius and 48-foot outside turning radius for fire truck access. The actual fire truck radii will be confirmed upon review of the development application.

~~FG.~~ Whenever feasible, significant trees shall be retained and integrated into the roadway design; however, in no case shall the retention of tree canopy occupy the clear drivable area required for emergency vehicles of 18 feet in height and width.

~~GH.~~ The city shall own and maintain the paved street section. Subject to a maintenance agreement and annual schedule, the homeowners' association shall maintain the gravel shoulders.

~~III. Shared driveways are encouraged.~~ Driveway cuts shall be nine to ~~twelve~~¹² feet wide. Sixty-five percent of the driveways shall be constructed with a pervious material. Pervious materials allow rainwater to pass directly through the pavement and into the soil at an infiltration rate to be approved by the ~~city~~^{City} engineer. Allowed materials, including gravel, shall meet this requirement. ~~The homeowners' association shall perform regular maintenance of the pervious driveway or otherwise require homeowner to conducted regular maintenance of their own driveway.~~

~~II. Signage shall be provided at each ingress and egress point of the plat establishing a speed limit of 15 miles per hour and indicating pedestrian use of roadways.~~

~~JK. Frontage along SE 140th Street - A sidewalk in the form of an 6 foot wide asphalt paved pathway shall be provided along the frontage of the development along SE 140th Street in lieu of conventional curb/gutter/planter strip and sidewalk. The sidewalk shall meander within the right of way and through the significant tree retention buffer along SE 140th Street. Stormwater for SE 140th Street shall be accommodated via a separated landscaped bio channel, sized as necessary, and located between the edge of pavement and the significant tree retention buffer swale. The paved pathway shall meander through trees preserved within the right-of-way and supplemental native tree and shrub plantings compatible with the existing forested condition. The paved pathway may also be located partially or entirely within the SE 140th tree preservation buffer as described under 18.50.100(D), below. Pedestrian level down-lite full cutoff lighted bollards shall be provided along the trail to provide additional safety for children to walk to school.~~

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~~K. For residential developments adjacent to Ribary Road, parking shall be allowed within portions of the Ribary Road ROW subject to developer making the requisite parking and landscaping improvements along the applicable portions of the right-of-way frontage adjacent to the site, including a trail with a width of eight feet, within a 12-foot corridor, as specified in the preliminary plat. Portions of the trail may be located within the right-of-way, subject to city approval. (Ord. 1366 § 1 (Esh. A (part)), 2009).~~

18.50.100 Tree retention and protection.

A. An average of 30 percent of all significant trees located within the developable lot areas shall be retained. ~~The developable area is considered areas where lots, roads and public infrastructure are located. Sensitive areas and their buffers, perimeter buffers and the buffer along SE 140 is not considered to be within the developable area. 33~~ significant tree credits will be given for every healthy well located 12' or taller acceptable tree species up to the significant tree diameter threshold for trees established on the site. ~~The retained and planted trees to satisfy the minimum 30% tree average shall be documented on a long term tree plan for the site.~~

~~B. Significant tree(s) shall be retained in the front and rear yards of each lot, where feasible.~~

C. Significant tree stands shall be retained within the street right-of-way where feasible, subject to compliance with emergency response needs. ~~Streets shall meander or split to avoid trees. Utility corridors must be identified and recognize the protection of retained trees. Methods for working near, over or under tree root systems must be described to protect these trees during construction.~~

~~D. Buffers - A tree-preservation buffer of a minimum width of 30 feet shall be retained adjacent to the right-of-way of SE 140th Street and between said site and the adjacent Wood River neighborhood. These buffers shall be provided within a tract to be owned and maintained by the homeowners association of the development. The paved pathway that serves as the sidewalk along SE 140th Street may be located within this buffer, meandering through the trees, subject to a public use easement to the City of North Bend.~~

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E. Significant trees may be limbed up or removed to allow for the below-listed activities. In no case shall the two remaining significant trees located on any one lot be removed. ~~Trees removed for these purposes shall be replaced to maintain the 30% coverage in locations acceptable for the long term.~~

1. Solar access for rooftop solar panels;
2. Urban yard garden space.

~~EE. Significant trees may be limbed up to 30 percent of the tree height, thinned for windfall management and light, and dead or dangerous limbs removed in accordance with removal specifications from a certified arborist. Any tree that~~

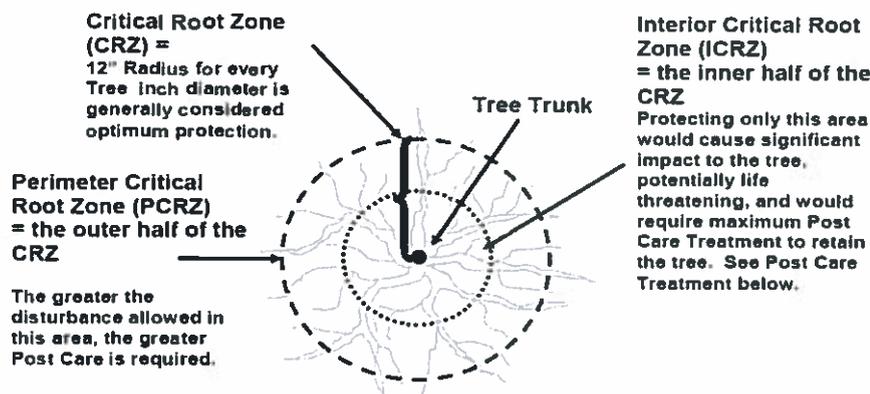
... allowed number of trees to remove, shall be replaced with three 12" conifers (DSH), planted on the lot, near the lot or in the plat to contribute and maintain the minimum tree cover canopy. City arborist shall approve and confirm planting. A bond and three year warranty is required on any planting.

GF. The homeowners' association shall contract with a certified arborist for ongoing tree care of the entire neighborhood including trees located on the private lots, open spaces, critical areas and public rights-of-way. ~~A tree removal permit shall be submitted to the City for review and approval prior to removal of any tree. All proposed work including but not limited to tree removal, pruning, and planting shall be submitted to the city arborist for approval.~~ The submitted information submitted with the tree removal permit shall reference the Tree Protection Plan and confirm the retention and maintenance of the required tree cover. All pruning shall be done in accordance with ANSI Standards

IG. To the maximum degree practicable, the tree canopy over the entire site shall remain a minimum of 40 percent site area coverage in perpetuity. Supplemental plantings may be required over time. A Tree Protection Plan, produced by the homeowner's association, shall annually confirm a record of the retained trees and propose additional plantings to maintain the 40 percent % canopy coverage required on the whole site.

H. Any clearing, grading and construction on any lot and the whole site overall, shall require a Tree Protection Plan (TPP) specific to that area or lot and the trees on it. The TPP shall identify all protected trees and all work proposed around and near those trees. The TPP shall describe all methods of tree protection that are proposed to mitigate for the work to be done onsite. The developer shall hire a Certified Arborist to provide this plan, review implementation and to be onsite during work within the Interior **Critical Root Zone (CRZ)**. The Developers Certified arborist shall have this plan approved by the City's Certified Arborist. The City's Arborist shall review, approve and monitor the work to confirm that tree protection methods are being followed.

I. Soil compaction shall not be allowed over any Interior Critical Root Zone and limited access over the Perimeter CRZs should be avoided near tree root zones. As a general guideline, the tree Critical Root Zone shall be defined as the area with a equal to a one-foot radius for every one inch trunk diameter at "DSH" means the diameter at standard height, the diameter of the trunk measured 54 inches (4.5 feet) above grade chest height (DBH equals four and one-half feet). See detail below for an explanation of the CRZ. The entire CRZ is divided in half with the outside 50% of the CRZ described as the Perimeter CRZ and the inside 50% of the CRZ as the Interior CRZ. At all times, the Interior CRZ shall be retained without disturbance and protected from soil compaction with woodchips and or steel plates. Any intrusion into the Interior CRZ shall be approved and monitored by the City Arborist. Work within the perimeter CRZ is allowed with limitations and protection.



~~E. Limit to an absolute minimum any excavation or installation of impervious surfaces within the critical tree-root zones. If the tree(s) are preserved and excavation or installation of impervious surfaces is proposed within the critical tree-root-zone, the city's certified arborist shall be consulted and the city shall approve the excavation methods.~~

~~F. Removal of any significant tree shall require a permit issued by the city of North Bend. Applications for tree removal must comply with the standards found in this chapter and Chapter 19.10 NBMC. In the event of a conflicting standard, the more stringent shall apply. (Ord. 1366 § 1 (Exh. A (part)), 2009).~~

18.50.110 Parks and trails.

A. Trails shall be an integral part of the development allowing for pedestrian connectivity and recreational opportunities. Trails should perform similar to the sidewalk providing for safe, well connected pedestrian routes throughout the neighborhood. ~~Trails shall be provided as generally shown in 18.50.140 Detail A, Site Development and Street Detail below.~~

~~B. A five-foot wide meandering trail shall be provided within the buffer areas located between the site and the adjacent Wood River neighborhood extending from SE 140th Street to the Snoqualmie Middle Fork River to provide public access opportunity to the river. Additional five-foot wide trail connections shall be provided through the site to the Snoqualmie Middle Fork River as generally provided in Detail A, below. For a subdivision of 40 or more homes, trails shall connect to Ribary in at least two locations.~~

C. Allow trail access throughout the site for human interaction with the natural environment. Trails may cross into and through wetland-critical areas and buffers upon receipt of applicable regulatory approvals to provide for an integrated trail system and to access noncritical open space areas. ~~Efforts should be made to combine wetland and wetland-buffer trail disturbance with extension of utility lines required to go through similar areas.~~ All trails located within a critical area buffer shall comply with NBMC Title 14, Environmental Protection.

~~D. Trails shall be approximately eight feet in width and clear of brush, debris or other visual obstructions, with exceptions for significant trees. Trails located within critical area buffers may be narrowed if necessary to protect the resource.~~

D.E. Trail surface shall be constructed of crushed rock at a minimum of six inches in depth. Soft-surface materials (hog fuel) may be utilized in place of crushed rock as approved by the community and economic development director, depending on the site and trail characteristics and anticipated trail usage. All trails within critical area buffers shall be provided with soft-surface material.

E.F. Chapter 17.25 NBMC, Residential Recreation and Common Space Requirements, shall be met, unless otherwise adjusted herein or otherwise waived by the city of North Bend. Recreational spaces, as required by Chapter 17.25 NBMC, may be allowed to be located in areas of the development not directly adjacent to public streets, so long as access is provided by a street or trail and natural significant features are incorporated into the recreational area such as tree groves, wetland viewing, vistas or other natural features. In order to encourage the retention of significant trees and to minimize site grading, requirements to provide mini-parks or consolidated parks may be met by providing open space improved with trails, seating, educational interpretive signage, picnic areas, pea patches and other related amenities intended to provide enjoyment of the natural features of the site, so long as that portion of the total area of open space, trails and amenities located in otherwise developable area equals the minimum size of mini-parks and consolidated parks for the property. This requirement is in addition to the 35 percent open space provision established in 18.50.070 A.1 and shall not include the buffer area along 140th Street, the buffer area between this site and Woodriver or sensitive areas, and their buffers. ~~(Ord. 1366 § 1 (Exh. A (part)), 2009).~~

18.50.120 Design, bulk and dimensional standards.

A. The overall gross density shall not exceed ~~two~~four dwelling units per acre with a minimum lot size of 18,000 square feet.

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~~B. Average lot size shall be 6,500 square feet with a minimum lot size of 5,000 square feet. A reduction to the average lot size may be approved by the director in order to retain significant trees, meander roadways around natural features, or provide for IMPs.~~

~~C.B. The placement of structures on the lots shall take into consideration the location and retention of significant trees. Structures shall be no closer than six feet apart, measured from the foundation wall. The LID demonstration preliminary plat application shall include a structure placement plan, which shall clearly identify the significant trees to be retained on each lot and the buildable area of each lot.~~

~~D. Twenty-five percent of the homes may be attached duplexes.~~

~~E. Front entry garages shall be set back from the front wall, not including the porch, of the residential structure a minimum five feet. Residential structures with front entry garages shall provide a minimum six-foot-wide front porch measured from the front wall of the structure outwardly.~~

~~F. Eaves of at least 18 inches shall be provided on all residential structures.~~

~~G. All parts of a pitched roof above 48 feet shall be pitched a minimum of 6:12, unless a functional green roof is provided.~~

~~H. For developments containing 50 units/lots or less, a minimum of four floor plans and three elevations per floor plan totaling 12 elevations shall be made available.~~

~~I. For developments containing more than 50 units/lots, a minimum of four floor plans and total of 16 elevations shall be provided. This can be achieved by providing four floor plans and four elevations per floor plan or by providing additional floor plans and associated elevations resulting in 16 elevations.~~

~~J.C. Where feasible, orient the long axis of the structure along topographic contours to reduce cutting and filling.~~

~~K.D. Where feasible, control roof water within the lot with rain gardens, infiltration trenches, dispersion systems and other IMPs.~~

~~L.E. Use low impact foundations, including but not limited to step foundation, pin foundation, requiring minimal excavation where feasible.~~

~~M.F. Retaining walls shall be kept to a minimum height, not exceeding approximately 4.5 feet in height. (Ord. 1366 § 1 (Exh. A (part)), 2009).~~

18.50.130 Clearing, grading, landscaping and integrated management practices (IMPs).

A. Limit clearing and grading to road, trail, parking, utility, building pad, park areas and areas required for storing and blending excavation topsoil and mulch and for construction staging. All other land area should be delineated and protected from compaction with construction fencing.

B. Limit construction access to where future roads and utility corridors will be placed to the extent reasonably feasible.

C. Limit overall project cut and fill through efficient road design and lot layout.

D. Retain natural topographic features that slow and store storm flows.

E. Retaining native soil and vegetation is a primary objective.

F. Stockpile and reuse excavated topsoil to amend disturbed areas.

G. The clearing limits shall be clearly flagged and signed.

H. Once the clearing limits are clearly flagged and signed, the equipment operators shall walk the site with the ~~city~~City engineer or his/her designee.

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CB. Beaux arts – residential streetscape example: tree preservation, narrow winding streets and integrated significant trees/vegetation.



CE. Residential lot with integrated IMPs/rain gardens.



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(Ord. 1366 § 1 (Exh. A (part)), 2009).



City Council Agenda Bill

| SUBJECT: | Agenda Date: December 6, 2016 | AB16-152 |
|--|---|----------|
| <p>Motion to Select Architect for Design of City Hall and for the Mayor to enter into Professional Services Agreement</p> <p>Cost Impact: Architect Fees are a percentage of construction cost. TBD based upon negotiations</p> <p>Fund Source: The City has been saving money for design and construction of a City Hall: Civic Center Fund \$480,000 – REET Fund – Approximately \$1,000,000.</p> <p>Timeline: Immediate</p> | Department/Committee/Individual | |
| | Mayor Ken Hearing | |
| | City Administrator – Londi Lindell | X |
| | City Attorney - Mike Kenyon | |
| | City Clerk – Susie Oppedal | |
| | Community & Economic Development – Gina Estep | |
| | Finance – Dawn Masko | |
| | Public Works – Mark Rigos | |
| <p>Attachments: Lawhead Architect Examples of Design; TCA Examples of Design; Public Comment from Open Houses; Lawhead & TCA Estimates of City Hall Construction Cost; Office of Financial Management Schedule for Architectural and Engineering Fees; Resolution No. 1742 Identifying Preferred Location for City Hall</p> | | |
| <p>SUMMARY STATEMENT:</p> <p>Why is a New City Hall Necessary?</p> <p>The City of North Bend has been discussing the need for a new city hall for almost 25 years in order to provide citizens one-stop shopping, as a result of the age, safety issues and deteriorating condition of the existing City building and due to operational inefficiencies resulting from city staff being located in 3 separate buildings. A recent tour of the existing city hall shows signs of water damage from active leaks, lack of American with Disabilities compliance, inadequate heating and cooling for a comfortable office environment and other issues which interfere with maximizing employee performance. Recently Council authorized a competition among two architectural firms to prepare preliminary designs of an affordable city hall reflecting the citizens’ vision statement of preserving North Bend’s natural beauty, small town scale and rural character.</p> <p>Public Involvement</p> <p>A lengthy public process was conducted in the 1990s on the best location for city hall and as a result the City purchased a site called the Municipal Campus Site located slightly east of historic downtown on North Bend Way where the North Bend Fire Station and Public Works Shop and Administration Buildings are located. The City owns this property free and clear, it is located outside of the flood plain, and was purchased for the purpose of constructing a city hall as part of a municipal campus. On November 15, 2016, the City Council adopted the attached Resolution identifying this property as the preferred location for a new North Bend City Hall.</p> <p>Citizen Comments on Architects Designs</p> <p>Citizens attended public open houses on October 25th and November 8th, 2016 and the Lawhead and TCA Architects’ exhibits were available for citizens to view at city hall during two weeks in October and November 2016. Public comments received during these open houses are set forth in the attached Exhibit. Design is truly in the eye of the beholder as some of these comments are conflicting. For example, some folks didn’t like the amphitheater proposed by TCA while others felt it would be a great public amenity used by “kids, Boys/Girls Scouts, Weddings “ and other groups. We received similar conflicting comments about the parking areas and fireplaces. Some common themes were that all liked</p> | | |

City Council Agenda Bill

the idea of new public spaces, trails and possible amenities. The idea of a large working public counter to conduct business was seen as a good and practical addition. We had an interesting comment from one of our fellow elected officials from the Park District about the idea of using some of the public spaces for classroom or programming space when it was not being used for city hall purposes and we assured him these conversations were already occurring between the two staffs.

Citizen Priorities for City Hall

We also asked the public to tell us what their priorities were in relationship to a new city hall. It is no surprise that affordability received the highest number of votes, followed closely by providing usable public spaces and making sure a new city hall is consistent with the City's vision of maintaining our rural character, natural beauty and small town scale. Other objectives which received positive support from the public was to insure our city hall remembers our history, connects the government to the community, reduces operation costs through efficient design and a veterans' memorial be considered. The City Administrator met with your Historical Society and suggested they participate in this design process and they are hoping to present an idea to the Council next year on a role they would like to play to insure that North Bend's history be represented in any new city hall. We believe we will be meeting the citizen's objective of affordability by selecting a site outside of the flood plain, on property which the city owns without debt, which has a number of site improvements already made, is flat, does not require condemnation or legal fees to proceed with a city hall and has a total project cost \$9 million dollars *less* than the civic center which was being discussed approximately 4 years ago for downtown North Bend. Finally both designs do provide significant useable public spaces both on the interior and the exterior of the site. Staff also believes both designs respect North Bend's humble and organic past by using natural materials and either design will maintain our rural character and will be a nod to both the surrounding natural beauty and small town scale of North Bend. Obviously providing one stop shopping and large useable counters will allow our citizens to conveniently conduct city business and better connect citizens to their city staff.

Citizen Comments on Public Spaces

We also asked citizens for feedback specifically on 'public spaces' and citizens thought our public spaces should "use native and drought tolerant landscaping and use green systems such as rain barrels, rain drums and green roofs". They also thought it was important that any such public spaces connect to Tanner Trail. Both designs proposed good connections to Tanner Trail and these elements will be used in any landscape plan associated with a new city hall.

Selection of Architect

In Washington state, architects and engineers are selected through a qualifications based selection process which is dissimilar from how we award public works contracts which are awarded to the lowest bid by a responsible bidder. In a qualifications based selection process the City is not allowed to base its selection decision on price. The City must assess the expertise of the competing firms and select the most highly qualified firm, then negotiate the final project scope and associated fee. If the City cannot reach an agreement on an agreeable fee, the City can move on to the next architect until they reach an agreeable fee.

The City of North Bend along with many other Washington state cities uses Municipal Research Services Center (MRSC) to maintain our Architect and Engineer roster and MRSC advertises and updates this list in compliance with state law. Thus, we are able to select candidates from this list to interview when seeking architects or engineers for city projects such as city hall. The North Bend City Hall staff team is comprised of Mayor Ken, City Administrator Londi Lindell, Assistant City Administrator/Finance Director Dawn Masko, Community and Economic Development Director Gina Estep, Public Works Director Mark Rigos, Building Official David Spencer and Deputy Finance Director Beth Wright. This

City Council Agenda Bill

Team reviewed the various Statement of Qualifications from 3 separate firms and ultimately recommended the City proceed with schematic design with TCA and Lawhead Architects in a competition manner. Both of these firms and the architects working on the city's projects have significant experience on public facilities. In fact, both firms have worked successfully with the City in the past on the subject Municipal Campus Site as Lawhead Architects designed the Public Work Buildings and TCA designed the Fire Station.

On October 25, 2016, the City Council had the opportunity to review preliminary schematic designs from both of these firms and now have had a chance to consider public comments regarding both of these schematic designs. The City of North Bend now owns these schematic designs pursuant to the terms of the Professional Services Agreements we previously entered into with each of these firms and we can incorporate elements from either of these designs into our eventual final city hall design. ***It is important to note that the City is not making any final decision on the design of its city hall tonight but merely selecting which architect to move forward toward negotiating the next level of design service.*** The next step will be to work with Council and the staff to refine the design based upon Council, public and staff feedback and bring the design to 20% which will include specifying materials, equipment, construction sequencing, timelines, and more detail on economic cost analysis. Once we finalize design, the architect moves to preparation of construction documents which is preparing plans and specifications that the City uses to advertise the project for bid.

However, the key decision tonight is which architect should the City Administrator commence negotiations with. If an agreement is unable to be reached, she may be required to commence negotiations with the next architectural firm. Please note that a typical architect fee for the design of a public building can vary widely from 6% to 15% or more of the total construction cost of the building. I have included a Schedule that the State of Washington has prepared for transportation projects and educational projects (universities) which provides a range of ***maximum*** recommended percentage levels for architectural fees based upon the size of the capital project and I have attached the first page of this schedule to this Agenda Bill because it covers capital projects up to \$8,000,000 and our program budget given to the architects was a budget of \$5 million dollars exclusive of sales tax and exclusive of any adjacent park development. The state lists an office building as a Schedule B type of building under this schedule. This schedule is prepared by the Washington State Office of Financial Management or OFM and we are recommending that any Motion approving a contract authorize the contract not exceed the percentages recommended by this schedule. Until the design is further refined and cost estimated we won't have a final number on the cost of city hall but this is the project budget Mayor Ken and I are recommending to the Council at this time. Obviously, as Council makes future decisions on design they will also be making decisions on the cost of the project and each of these decisions will correspondingly increase the percentage cost of the architect (e.g. more elaborate parking area separated with trails recommended by TCA vs. more simplified and less expensive parking area recommended by Lawhead).

What Should City Hall Cost?

Your Mayor and City Administrator have set a budget of \$5 million dollars for hard construction costs associated with building the city hall as an aggressive goal. During each of the architect's presentations, they referred to "hard costs", "soft costs", "building costs" and "site costs". **Hard costs** often referred to as "brick-and-mortar costs", involve the actual physical construction of a development. These include grading and site work to prepare the ground for the building and then the labor and materials to construct a building. **Soft costs** include primarily front end professional services and fees and include permit fees, impact fees, architectural, engineering, financing, furnishings, legal fees, sales tax and other similar expenses.

Both architectural firms indicated "soft costs" can be as high as 30 to 40% of a project. A City has some

City Council Agenda Bill

unique abilities to incur savings in this area. For example city projects are exempt from paying permit and impact fees which can contribute a large part of this percentage. Further, the City conducts its own legal review so there is no additional cost other than that already budgeted as part of its overhead within its existing budget. The majority of this project will be funded with cash so we do not expect significant financing fees. Further of the almost 9% sales tax paid on the awarded bid, all but 6.5% of this is returned to the City. Thus, soft costs for the City will be significantly less.

Site costs have large variables depending on the unique nature of the property (e.g. flood plain, steep slope, geologic hazard zone, etc.). Thus, it is hard to compare “apples to apples” and compare your costs by looking at other city halls. However, in order to get a sense of how aggressive our budget is, I thought it would be helpful to include building costs only (no site costs and no soft costs) associated with other city halls which have been completed in the area as follows:

OTHER CITY HALLS

| Year | City | Square Footage | \$/SF | Total Building Only | Notes |
|------|---------------|----------------|------------|---------------------|-----------------------------------|
| 2011 | Bonney Lake | 20,915 | \$ 316 | \$ 6.6M | |
| 2011 | Moses Lake | 40,527 | \$ 269 | \$ 10.9M | LEED, Plus \$965K for Parking Lot |
| 2010 | Snoqualmie | 14,000 | \$ 524 | \$ 7.3M | \$6.8M Planned Costs |
| 2009 | Poulsbo | 30,000 | \$ 357-390 | \$ 10.7-11.7M | Plus \$2.5M for Parking Garage |
| 2009 | Shoreline | 66,000 | \$ 339 | \$ 22.4M | LEED Gold |
| 2005 | Port Townsend | 13,000 | \$ 285 | \$ 3.7M | |

You will note your neighbor Snoqualmie’s City Hall was constructed for \$524 a square foot hard construction costs for the building *only* but this was in the flood plain. This is one of the reasons we moved city hall out of our historic downtown. The price per square foot being initially quoted at a very early and preliminary level by Lawhead Architect is \$265 per square foot and by TCA Architects is between \$302 and \$378 per square foot for hard construction costs for an approximately 13,000 square foot building. However, these quotes should not be relied upon for anything at this very early and schematic stage. Until the City selects an architect to take the design to the next stage, where we refine the design, select materials and drill down the costs we won’t be able to really estimate the costs with great certainty. As mentioned above, I am confident a structure can be built for \$5 million dollars in hard construction dollars by reverse engineering. The question is whether or not Council will be satisfied with the final design once it is completed and unfortunately, I do not have a crystal ball but we will need to proceed through this interactive process with your chosen architect. I am confident either of these fine architects will be able to help you achieve your vision.

By selecting an architect and authorizing the Mayor to enter into a Professional Services Agreement, it will allow the selected architect to take the City Hall design to the next level to start specifying materials, finalizing design features per Council and staff direction and getting clear cost estimates associated with city hall. The cost for the architectural fee will be negotiated once the architect is selected but Council’s motion will adopt the OFM Architectural Fee Schedule to insure that the fee does not exceed the maximum state approved fee for WSDOT transportation projects.

Staff recommends Council fill in the below Motion with the name of the preferred architect and then approve the Motion.

COMMITTEE REVIEW AND RECOMMENDATION: This matter was considered by the full City Council at the July 26, 2016 Workstudy, at the August 16, 2016 regular City Council Meeting; at the October 25, 2016 Special City Council Meeting; the TPW Council Committee was briefed on November 9, 2016; and Council adopted Resolution No. 1742 on November 15, 2016 identifying the Municipal Campus Site as the preferred location for City Hall.

City Council Agenda Bill

RECOMMENDED ACTION: MOTION to approve AB16-152, authorizing the Mayor to enter into Professional Services Agreement in a form approved by the City Attorney with _____ Architects to complete design development of City Hall, preparation of construction documents for the North Bend City Hall and all other design services for the North Bend City Hall, in an amount not to exceed the recommended maximum percentage set forth in the Washington State OFM Architectural Fee Schedule.

RECORD OF COUNCIL ACTION

| <i>Meeting Date</i> | <i>Action</i> | <i>Vote</i> |
|---------------------|---------------|-------------|
| December 6, 2016 | | |

CITY OF NORTH BEND NEW CITY HALL

RENDERING | BUILDING PERSPECTIVES (2-STORY OPTION)



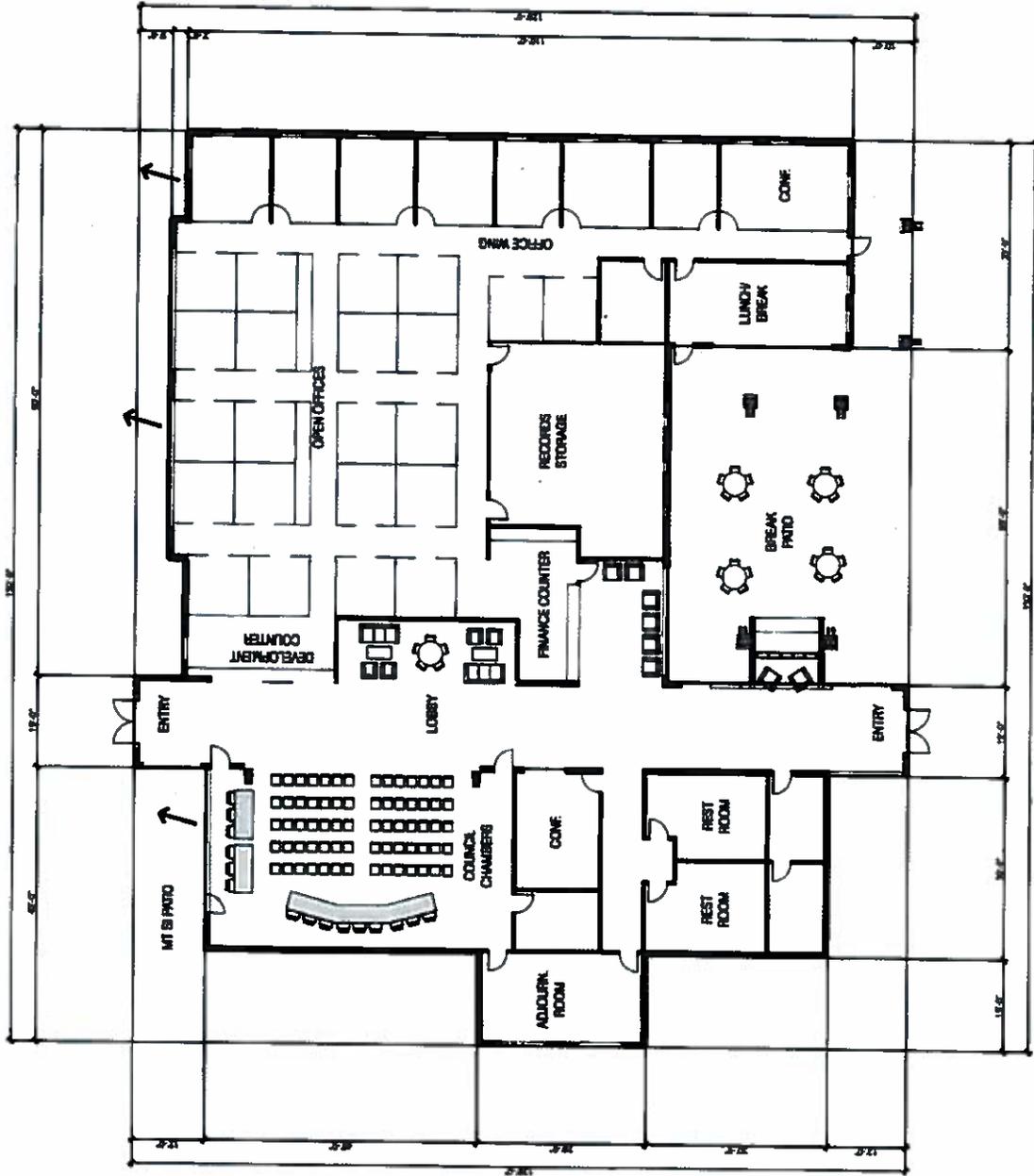
City of North Bend



Lawhead Architects P.S.

CITY OF NORTH BEND NEW CITY HALL

SINGLE STORY OPTION: FLOOR PLAN



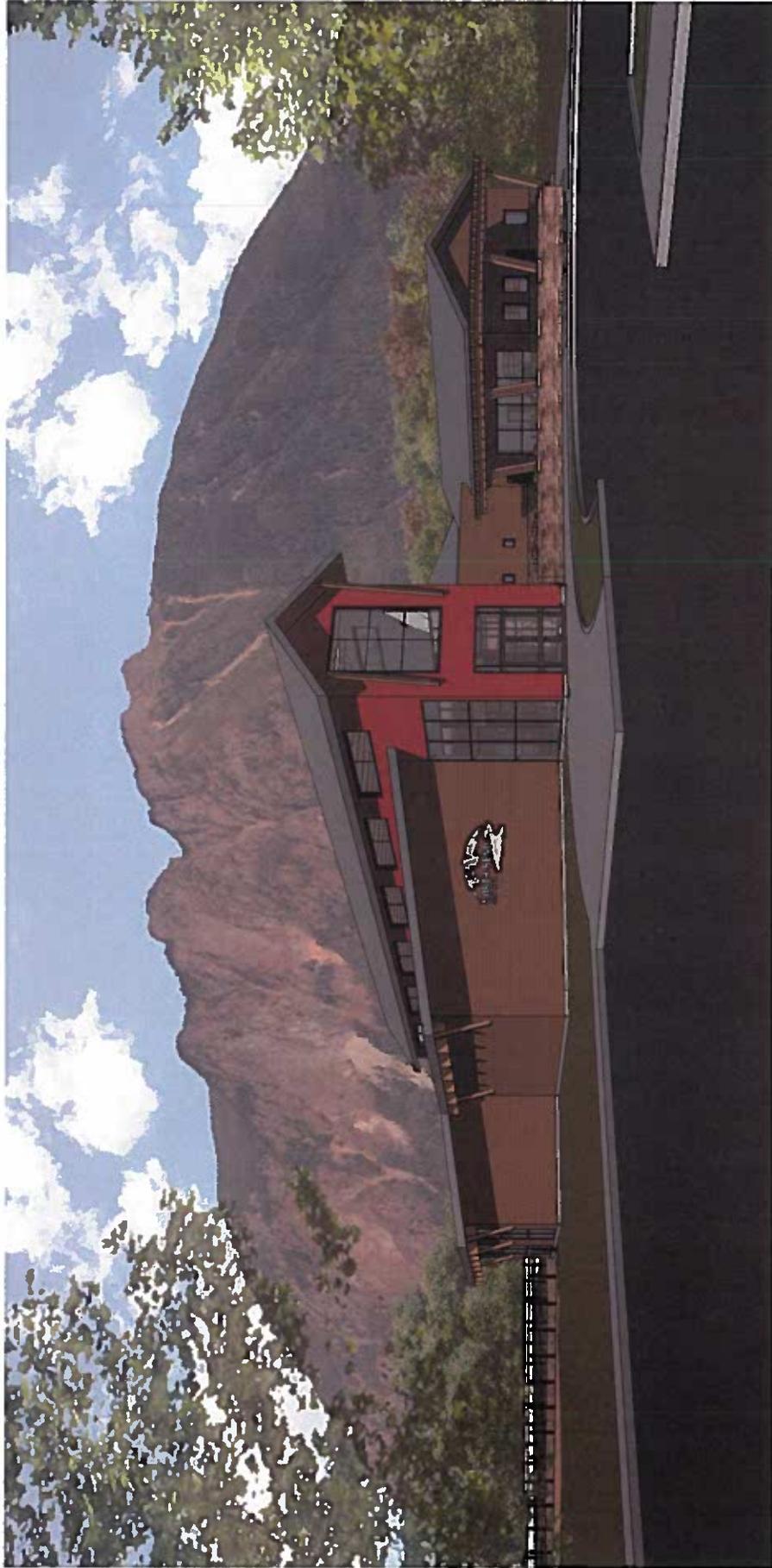
CITY OF NORTH BEND NEW CITY HALL

RENDERING | EXTERIOR PERSPECTIVE (2-STORY OPTION)



CITY OF NORTH BEND NEW CITY HALL

RENDERING | EXTERIOR PERSPECTIVE (2-STORY OPTION)



Lawhead Architects P.S.



City of North Bend

CITY OF NORTH BEND NEW CITY HALL

RENDERING | EXTERIOR PERSPECTIVE (2-STORY OPTION)



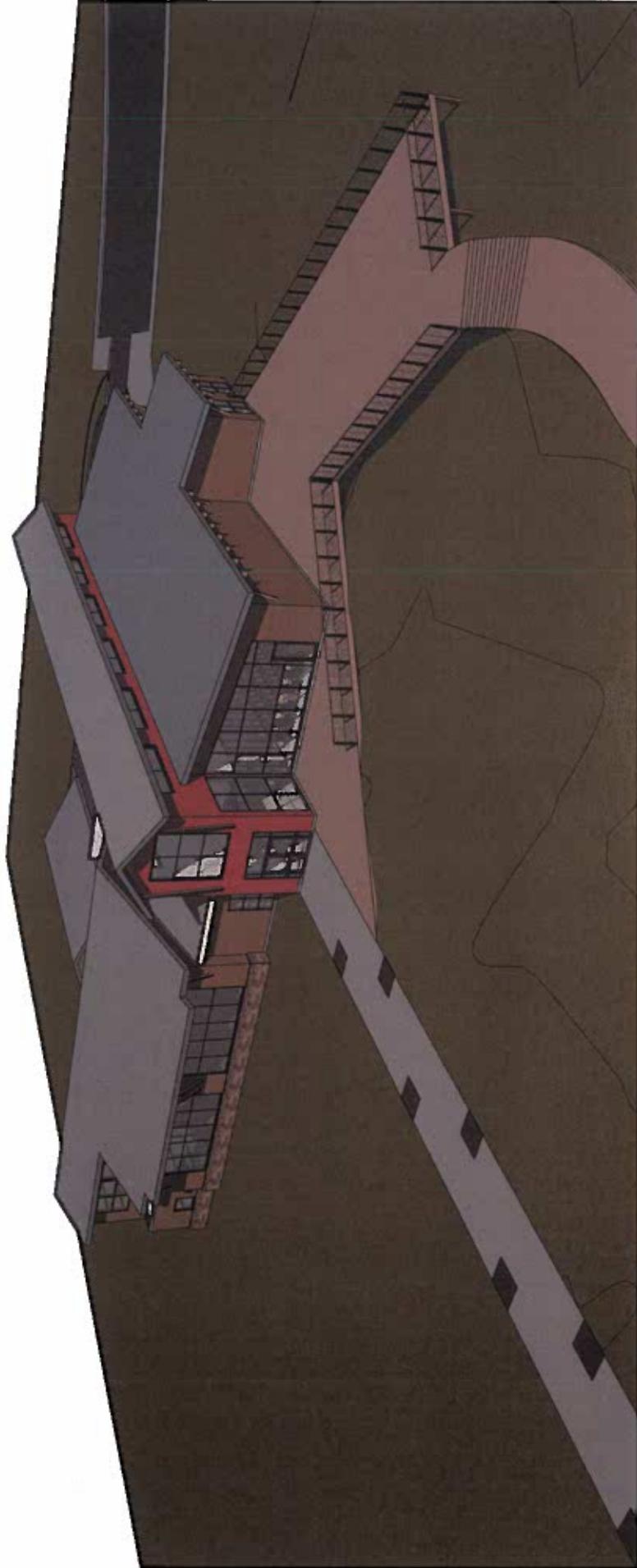
City of North Bend



Lawhead Architects P.S.

CITY OF NORTH BEND NEW CITY HALL

RENDERING | EXTERIOR PERSPECTIVE (2-STORY OPTION)



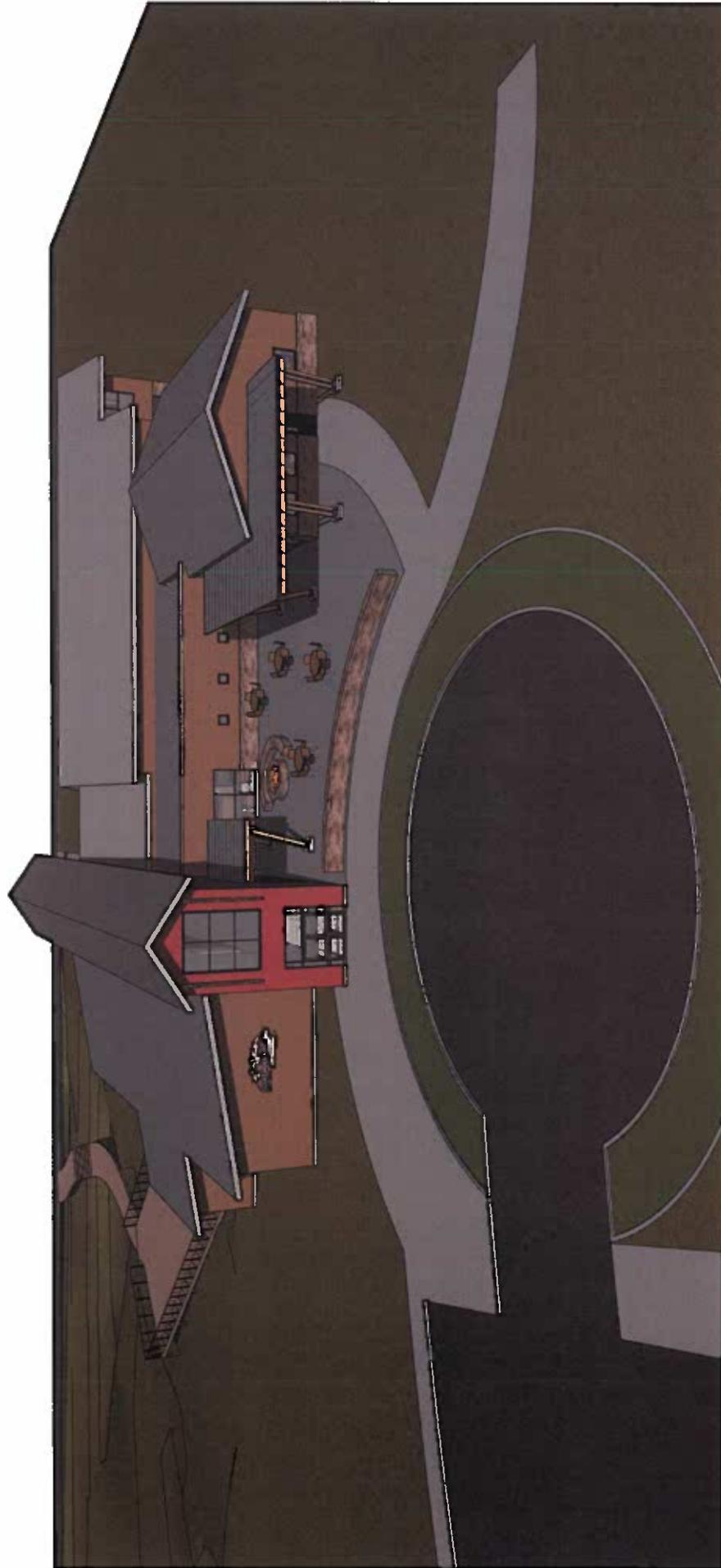
Lawhead Architects P.S.



City of North Bend

CITY OF NORTH BEND NEW CITY HALL

RENDERING | EXTERIOR PERSPECTIVE (2-STORY OPTION)



City of North Bend



Lawhead Architects P.S.

CITY OF NORTH BEND NEW CITY HALL

SITE STRUCTURES (1-STORY OPTION)



City of North Bend

Lawhead Architects P.S.

CITY OF NORTH BEND NEW CITY HALL

RENDERING | INTERIOR PERSPECTIVE (2-STORY OPTION)



Lawhead Architects P.S.

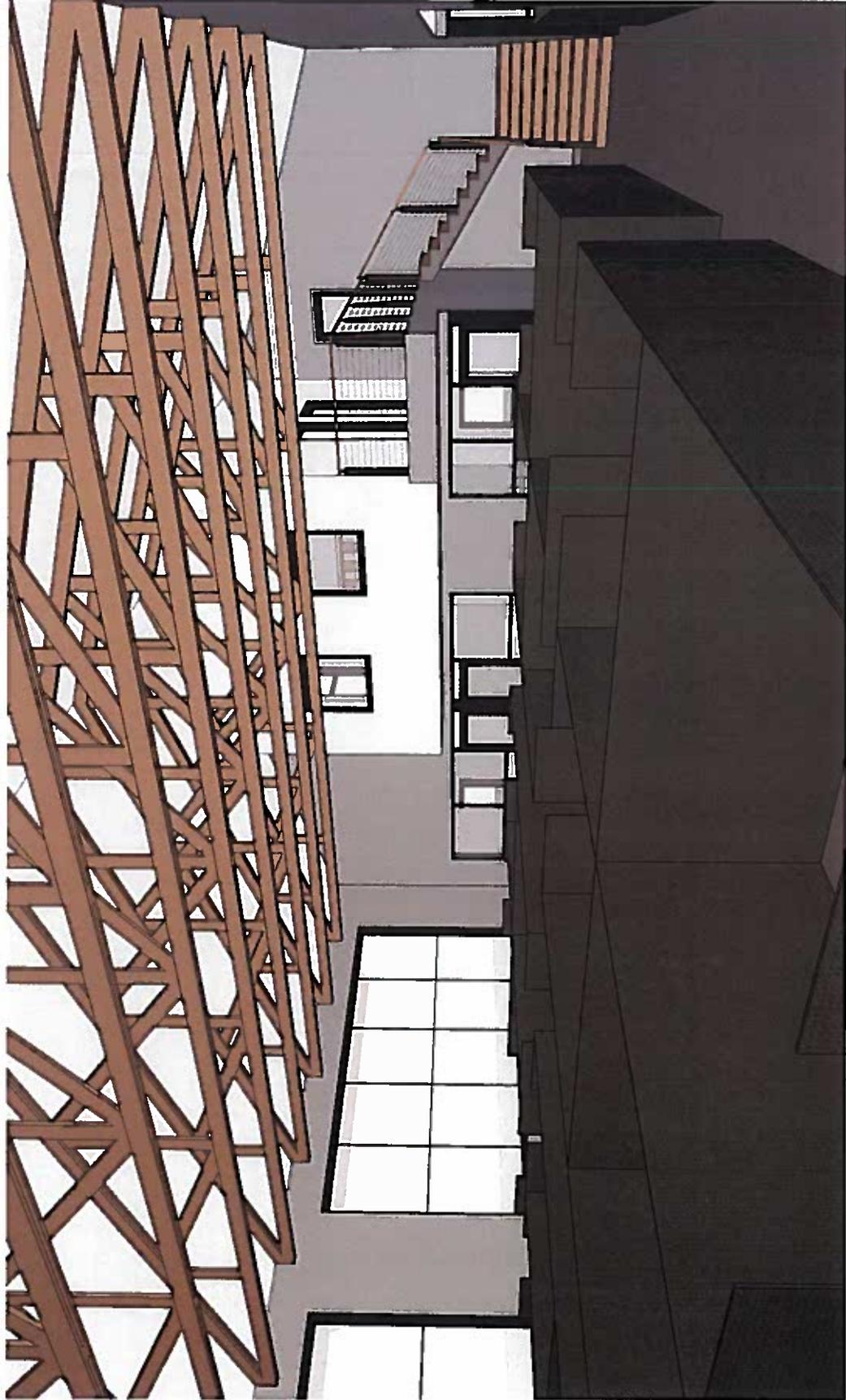


City of North Bend

CITY OF NORTH BEND NEW CITY HALL

RENDERING | INTERIOR PERSPECTIVE (2-STORY OPTION)

LAWHEAD
ARCHITECTS
P.S.



City of North Bend

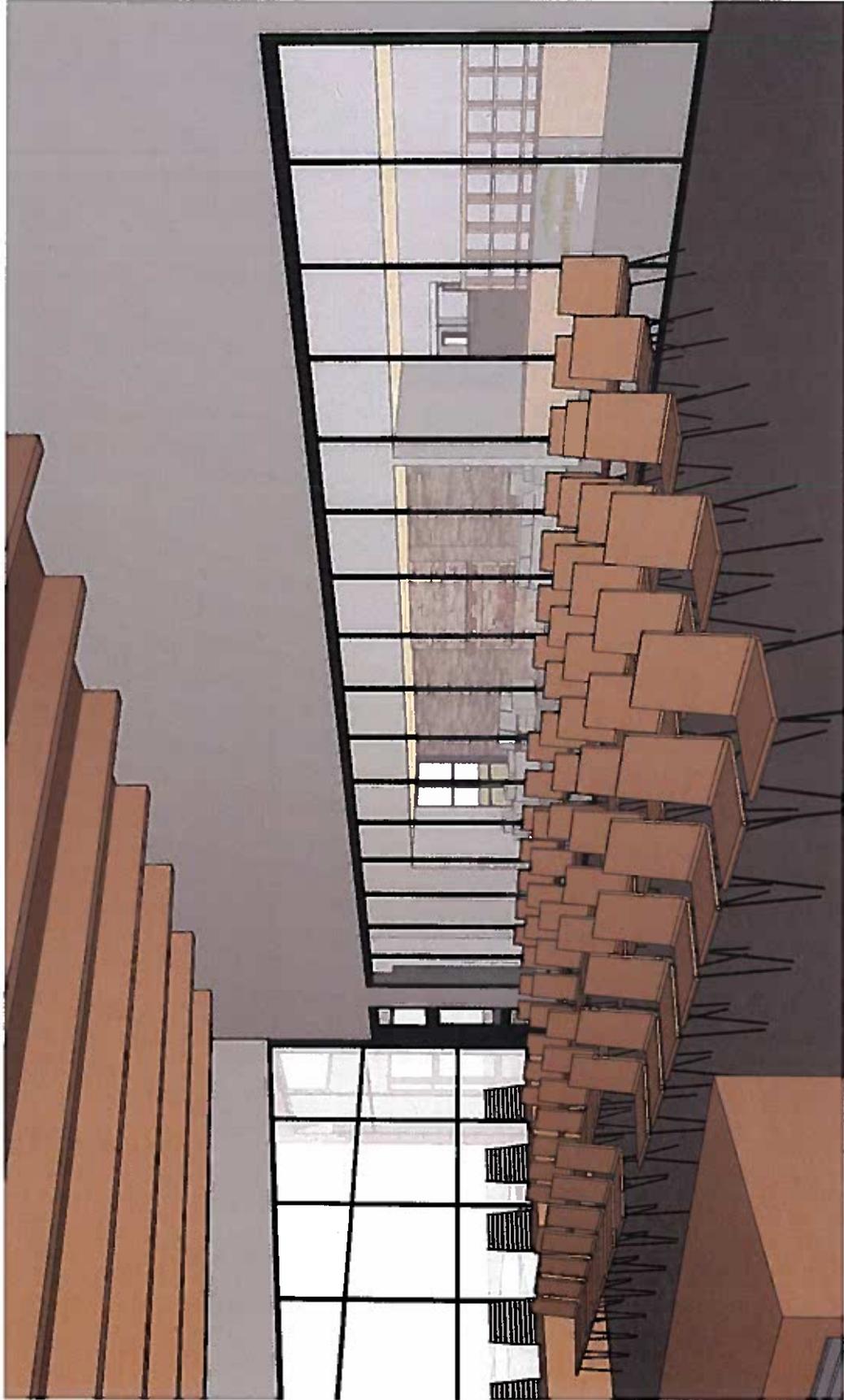


Lawhead Architects P.S.

CITY OF NORTH BEND NEW CITY HALL

RENDERING | INTERIOR PERSPECTIVE (2-STORY OPTION)

LAWHEAD
ARCHITECTS
P.S.



Lawhead Architects P.S.



City of North Bend

CITY OF NORTH BEND NEW CITY HALL

RENDERING | INTERIOR PERSPECTIVE (2-STORY OPTION)

LAWHEAD ARCHITECTS P.S.



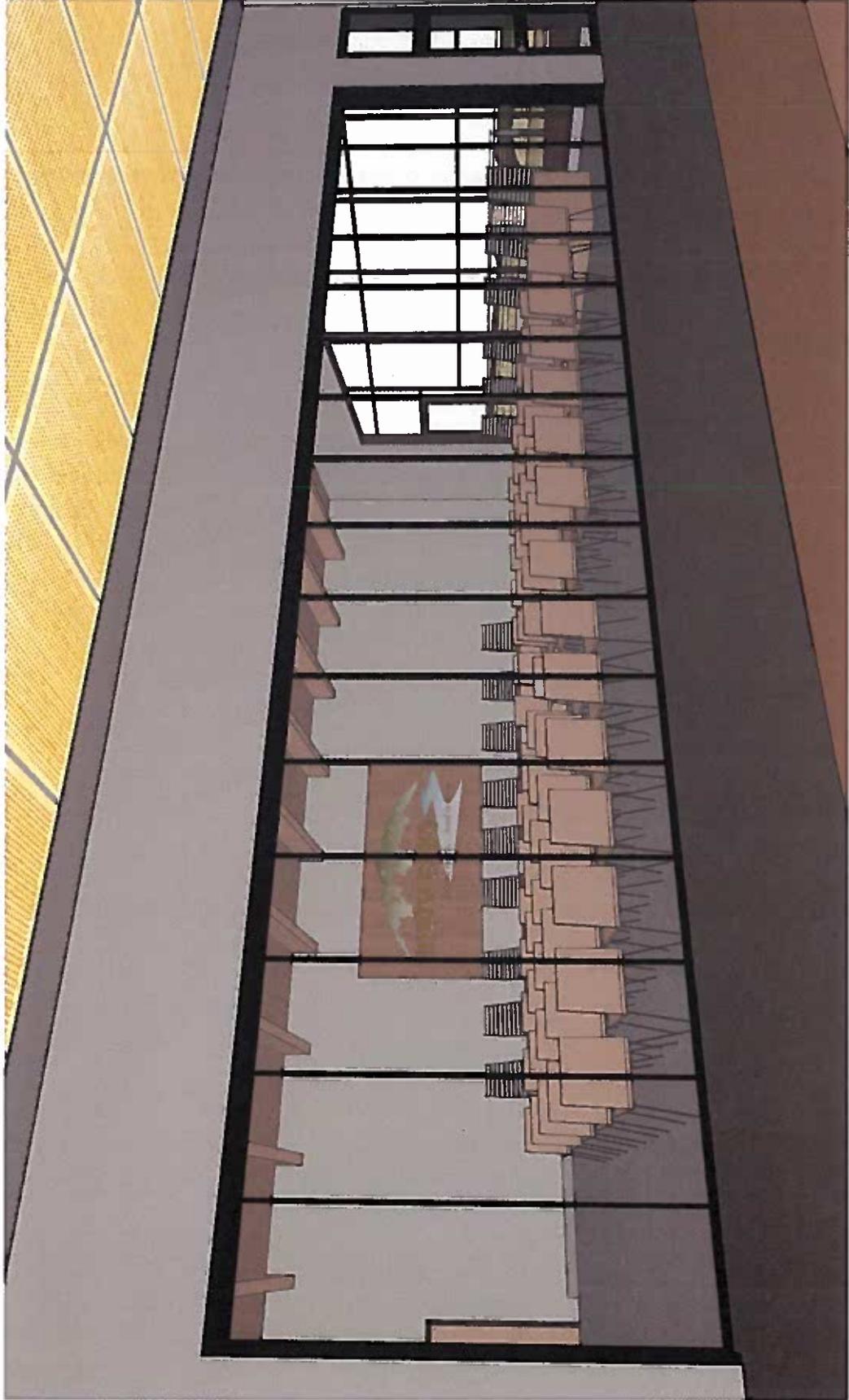
Lawhead Architects P.S.



City of North Bend

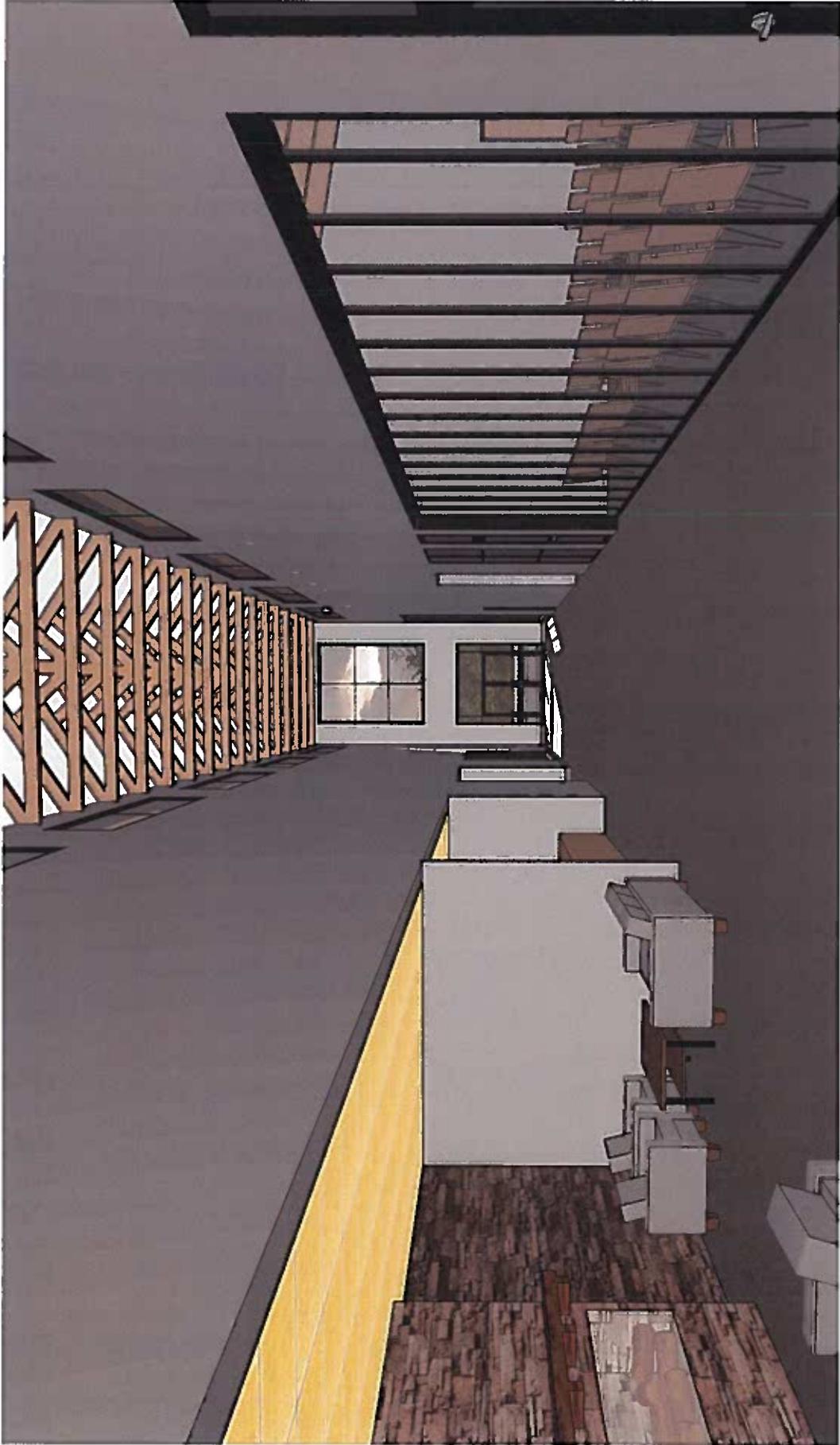
CITY OF NORTH BEND NEW CITY HALL

RENDERING | INTERIOR PERSPECTIVE (2-STORY OPTION)



CITY OF NORTH BEND NEW CITY HALL

RENDERING | INTERIOR PERSPECTIVE (2-STORY OPTION)



Lawhead Architects P.S.

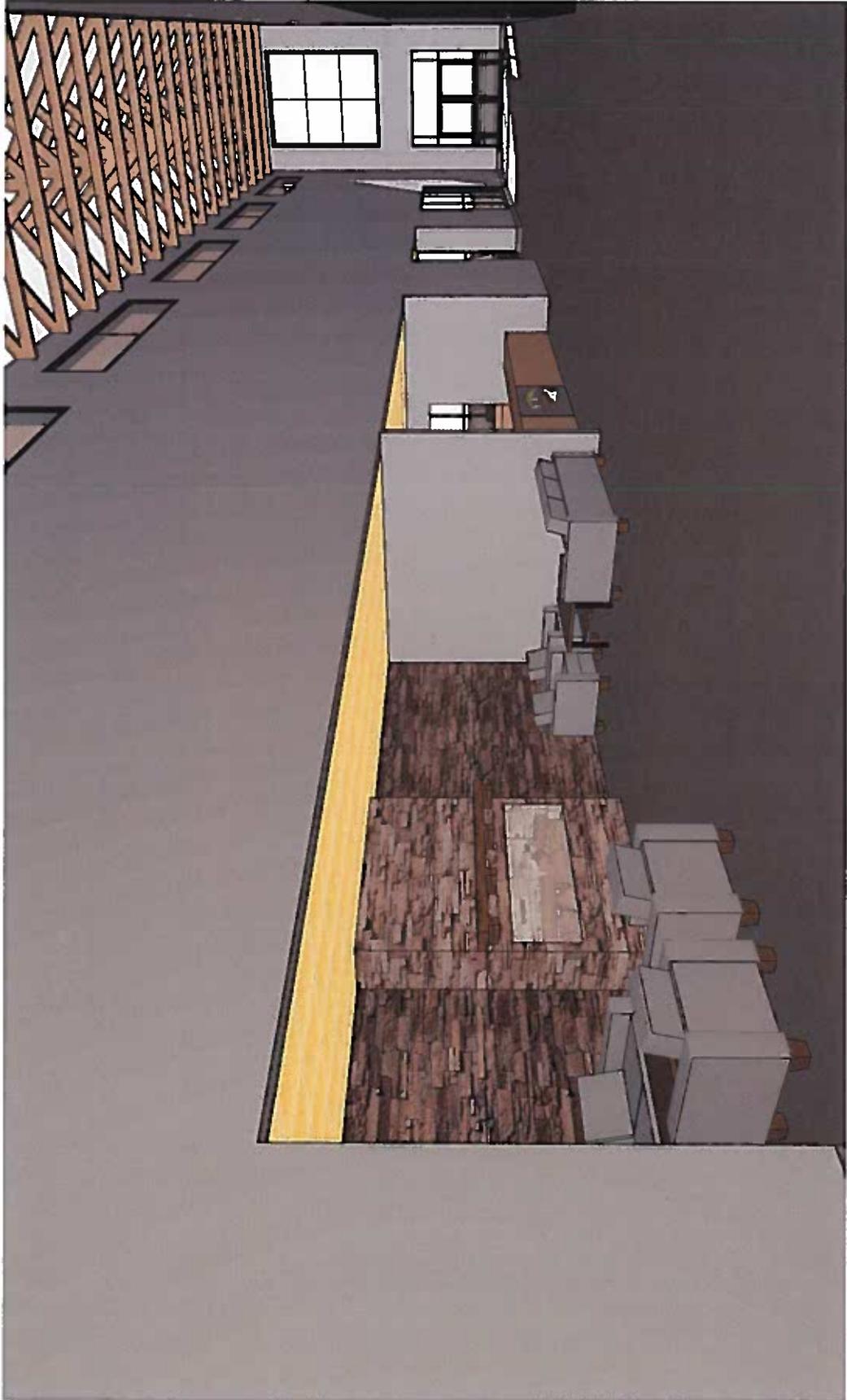


City of North Bend

CITY OF NORTH BEND NEW CITY HALL

RENDERING | INTERIOR PERSPECTIVE (2-STORY OPTION)

LAWHEAD
ARCHITECTS
P.S.

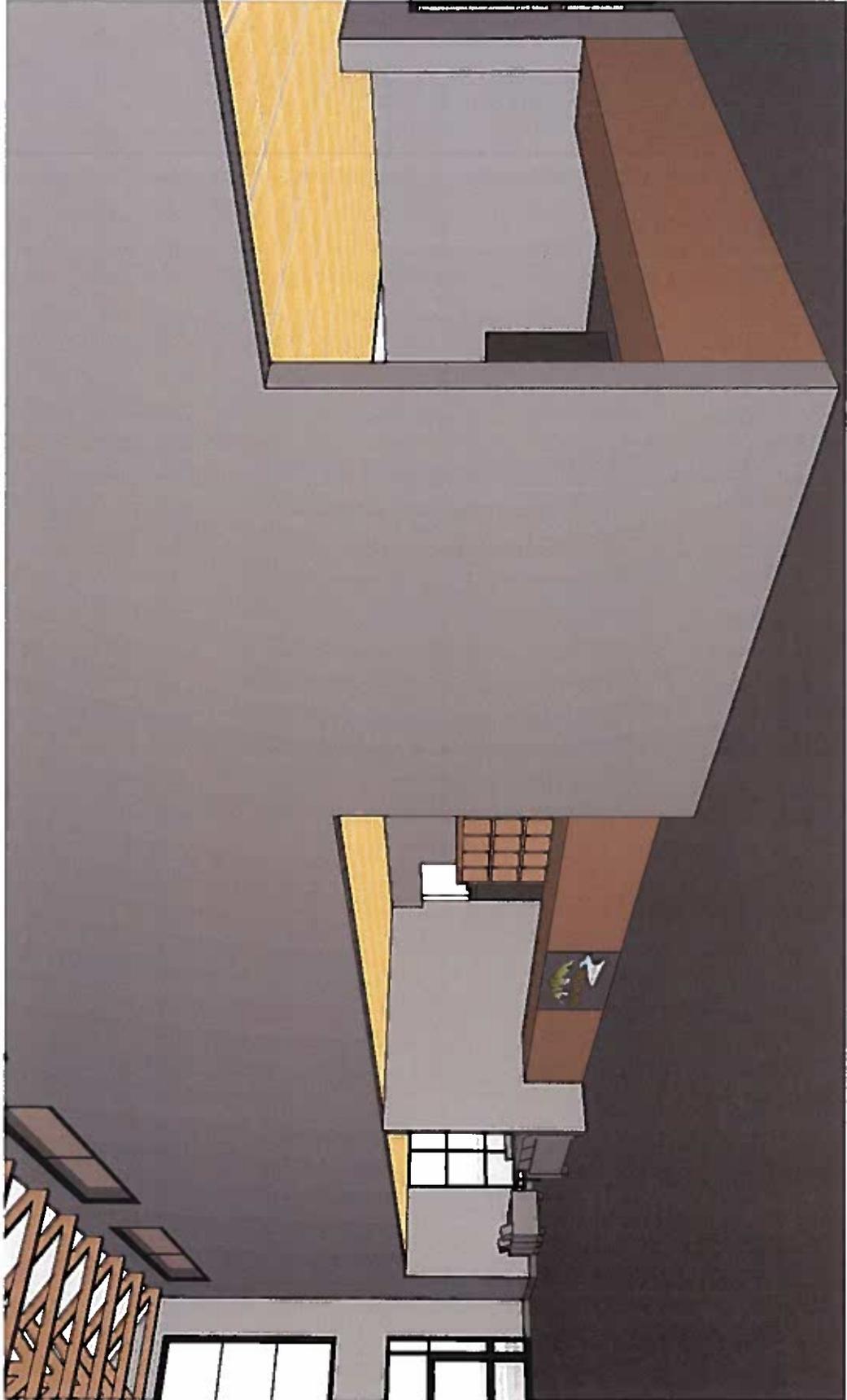


City of North Bend

Lawhead Architects P.S.

CITY OF NORTH BEND NEW CITY HALL

RENDERING | INTERIOR PERSPECTIVE (2-STORY OPTION)



Lawhead Architects P.S.



City of North Bend

CITY OF NORTH BEND NEW CITY HALL

RENDERING | INTERIOR PERSPECTIVE (2-STORY OPTION)

LAWHEAD
ARCHITECTS
P.S.



City of North Bend



Lawhead Architects P.S.

CITY OF NORTH BEND NEW CITY HALL

RENDERING | EXTERIOR PERSPECTIVE (2-STORY OPTION)

LAWHEAD
ARCHITECTS
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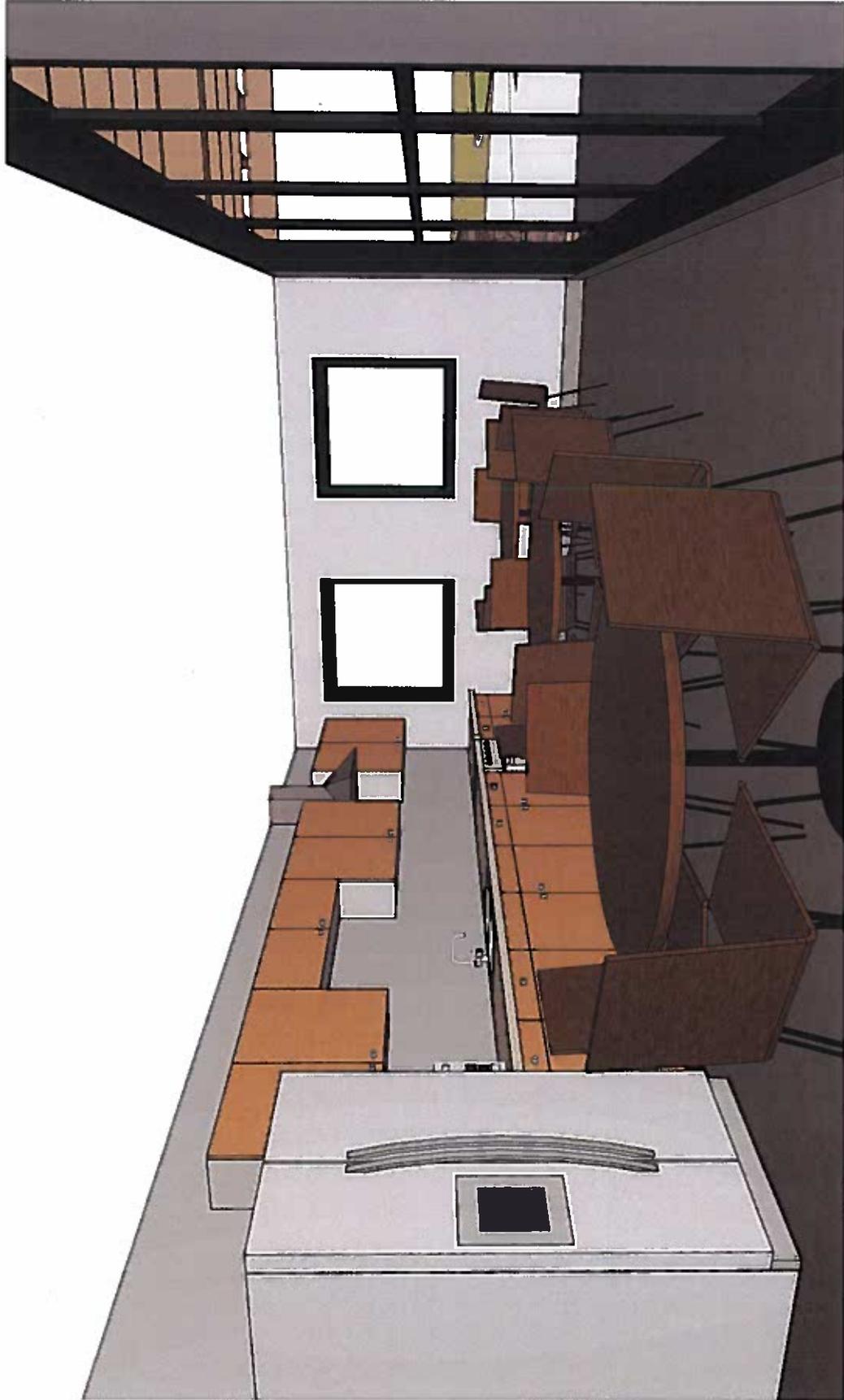


City of North Bend

Lawhead Architects P.S.

CITY OF NORTH BEND NEW CITY HALL

RENDERING | INTERIOR PERSPECTIVE (2-STORY OPTION)



Lawhead Architects P.S.



City of North Bend

CITY OF NORTH BEND NEW CITY HALL

RENDERING | EXTERIOR PERSPECTIVE (2-STORY OPTION)

LAWHEAD
ARCHITECTS
P.S.



City of North Bend

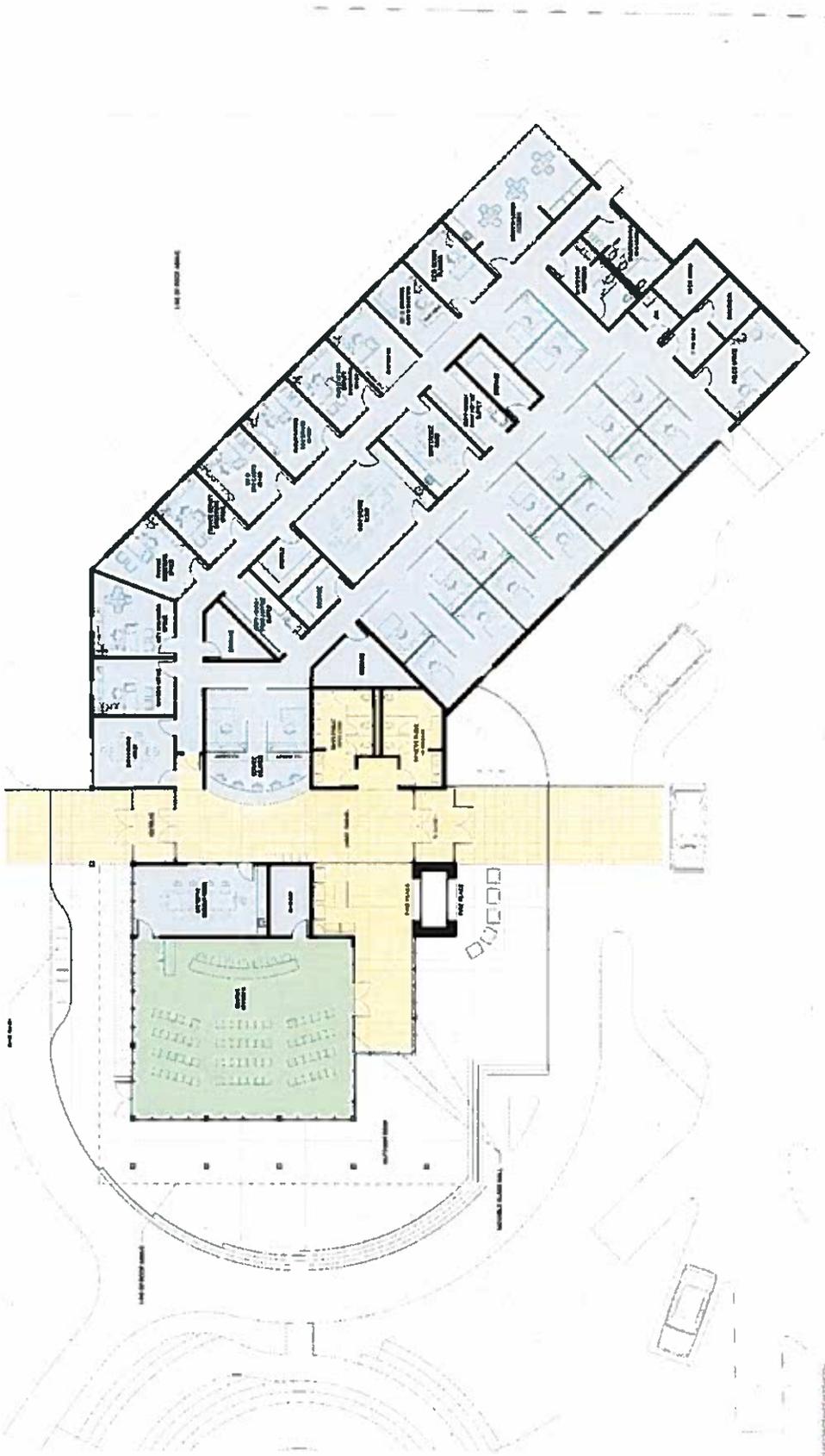


Lawhead Architects P.S.

**NORTH BEND CITY HALL
1 STORY SCHEME - SITE PLAN**



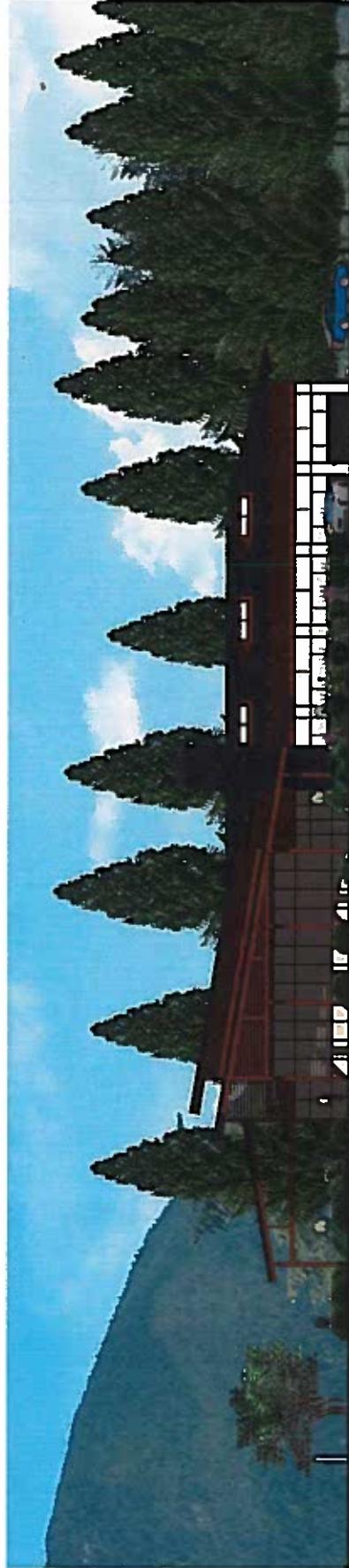
**NORTH BEND CITY HALL
1 STORY SCHEME - FLOOR PLAN**



**NORTH BEND CITY HALL
1 STORY SCHEME - ELEVATIONS**



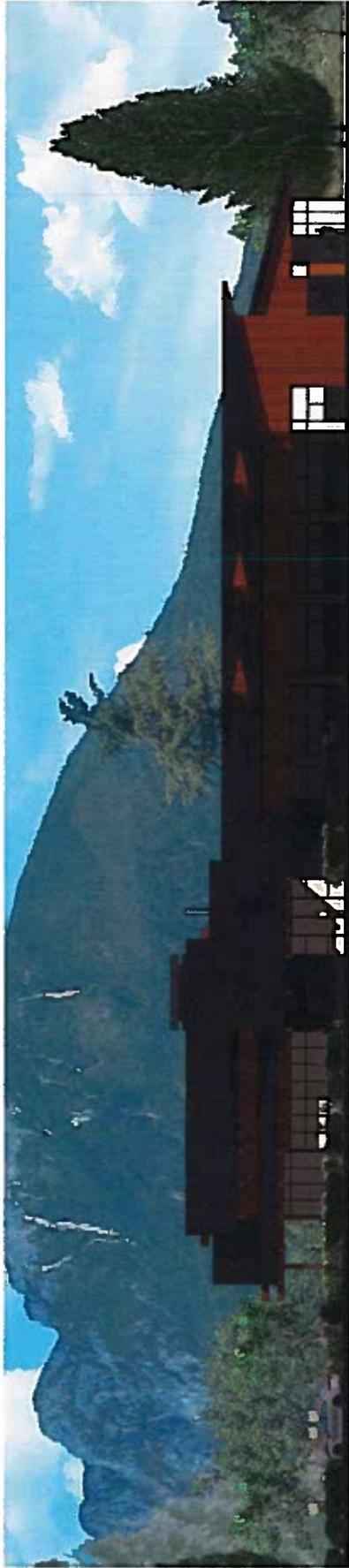
NORTHEAST ELEVATION



NORTHWEST ELEVATION



**NORTH BEND CITY HALL
1 STORY SCHEME - ELEVATIONS**



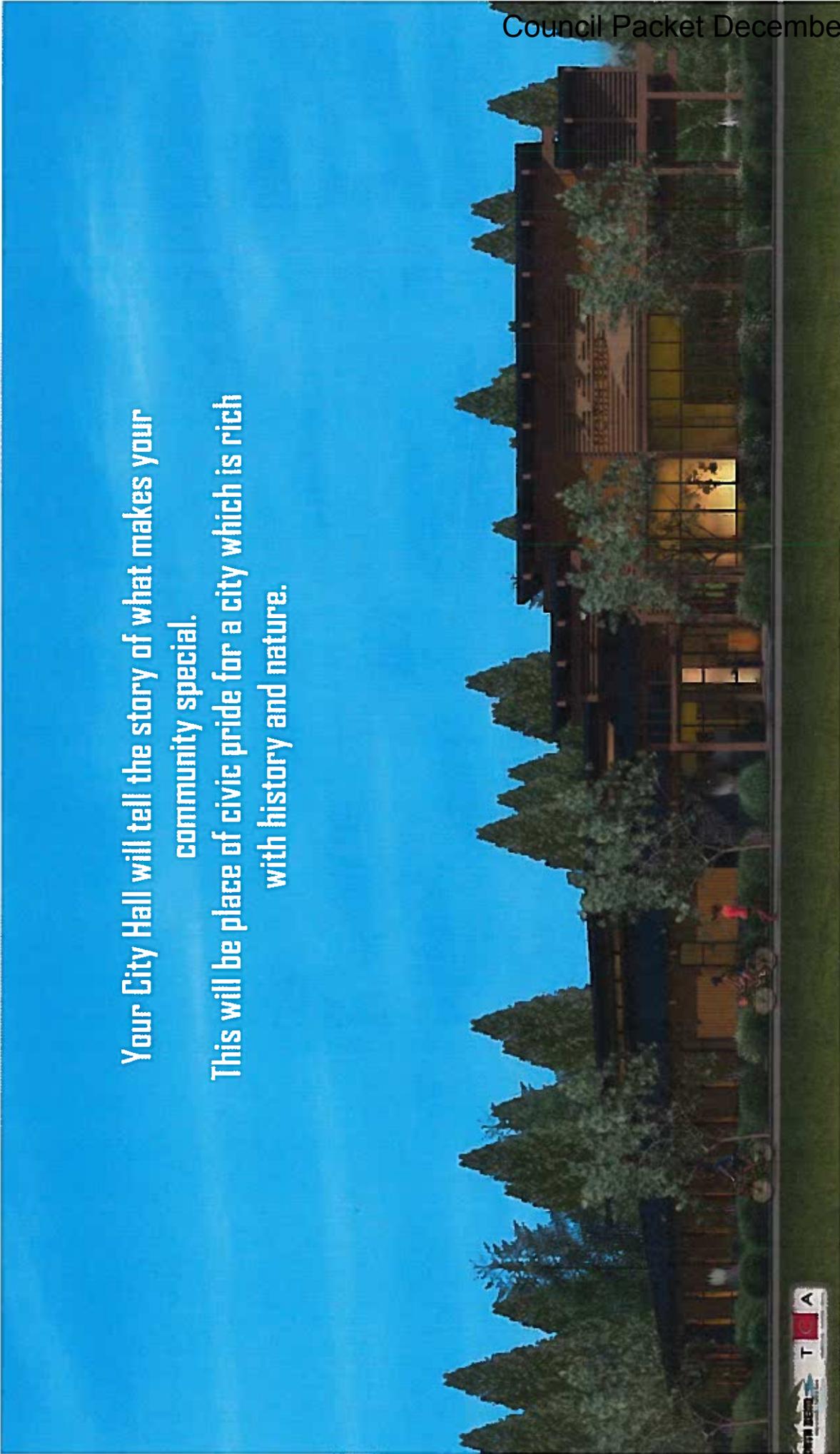
SOUTHWEST ELEVATION



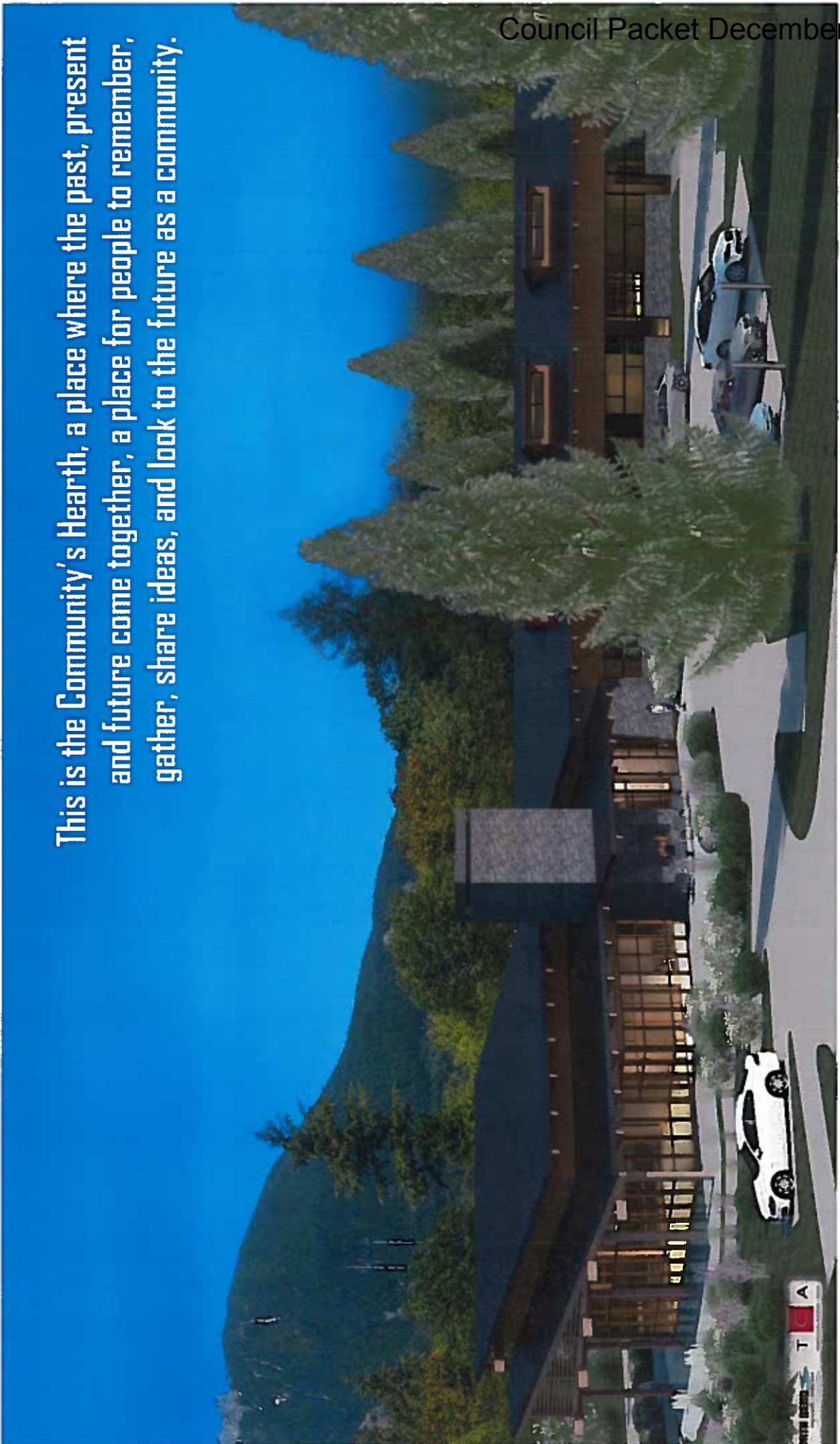
WEST ELEVATION



**Your City Hall will tell the story of what makes your
community special.
This will be place of civic pride for a city which is rich
with history and nature.**



This is the Community's Hearth, a place where the past, present and future come together, a place for people to remember, gather, share ideas, and look to the future as a community.



**NORTH BEND CITY HALL
2 STORY SCHEME - SITE PLAN**



**NORTH BEND CITY HALL
2 STORY SCHEME - 1st FLOOR PLAN**



**NORTH BEND CITY HALL
2 STORY SCHEME - 2nd FLOOR PLAN**



**NORTH BEND CITY HALL
2 STORY SCHEME - ELEVATIONS**



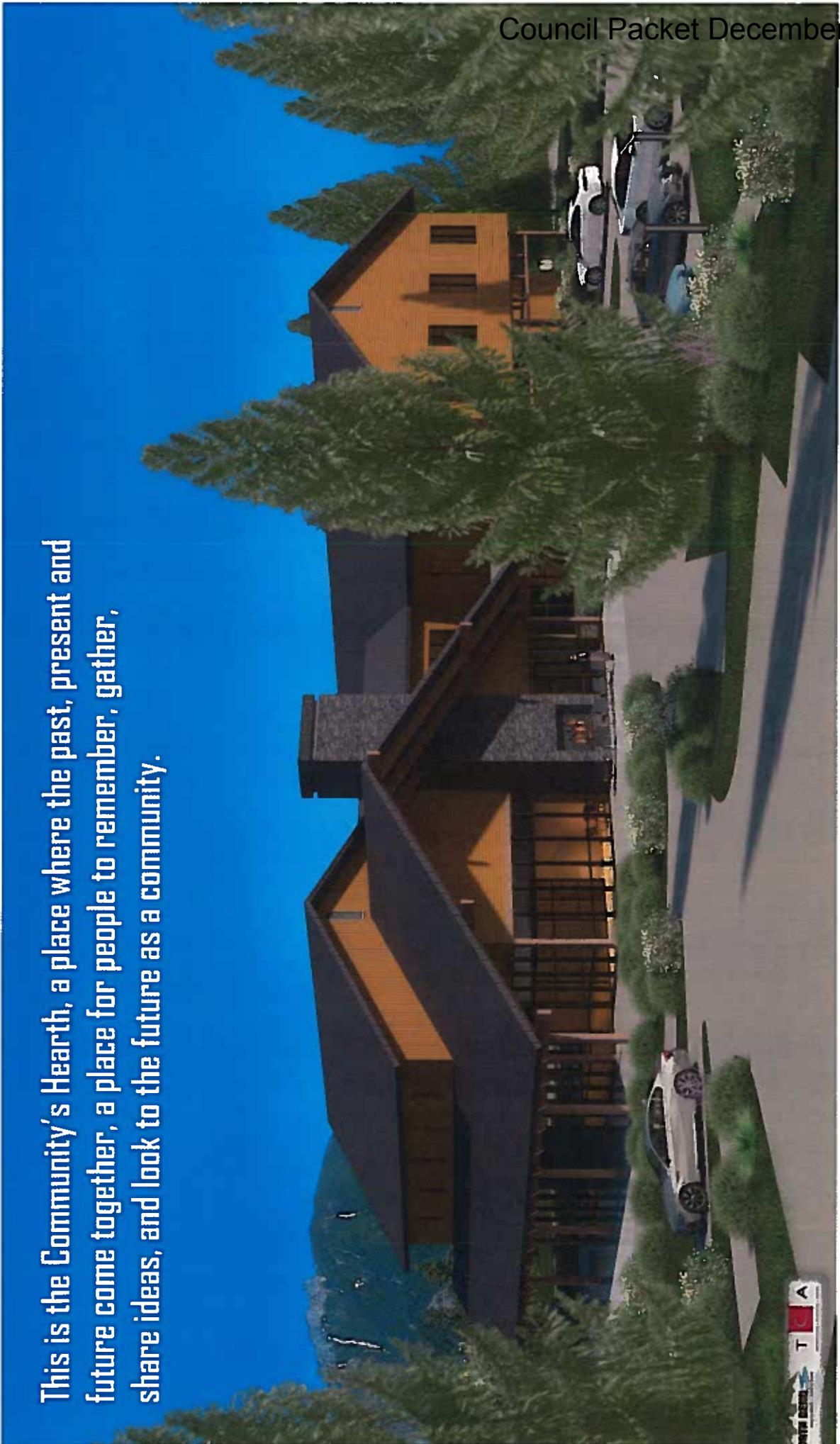
NORTHEAST ELEVATION



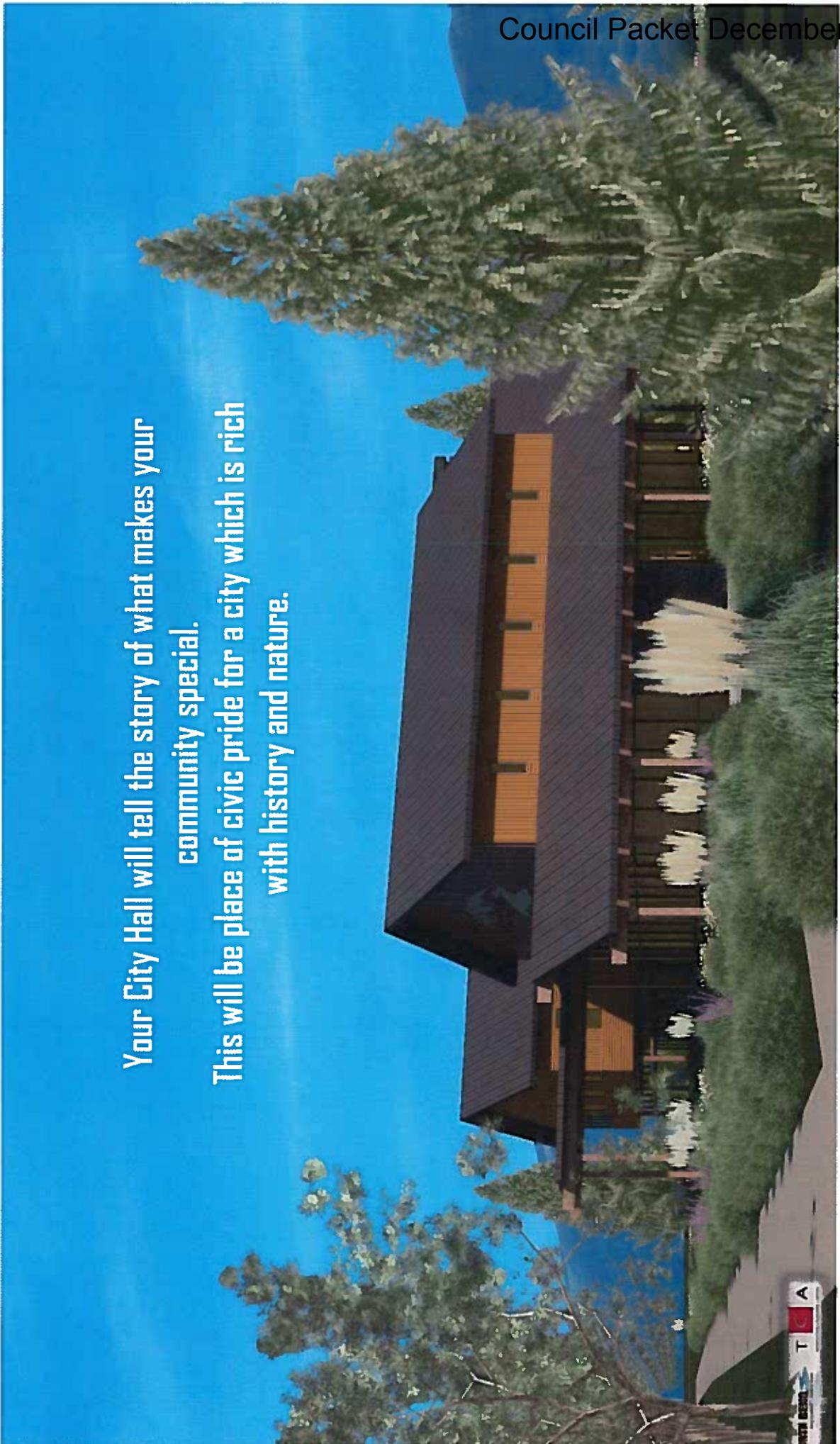
NORTHWEST ELEVATION



This is the Community's Hearth, a place where the past, present and future come together, a place for people to remember, gather, share ideas, and look to the future as a community.

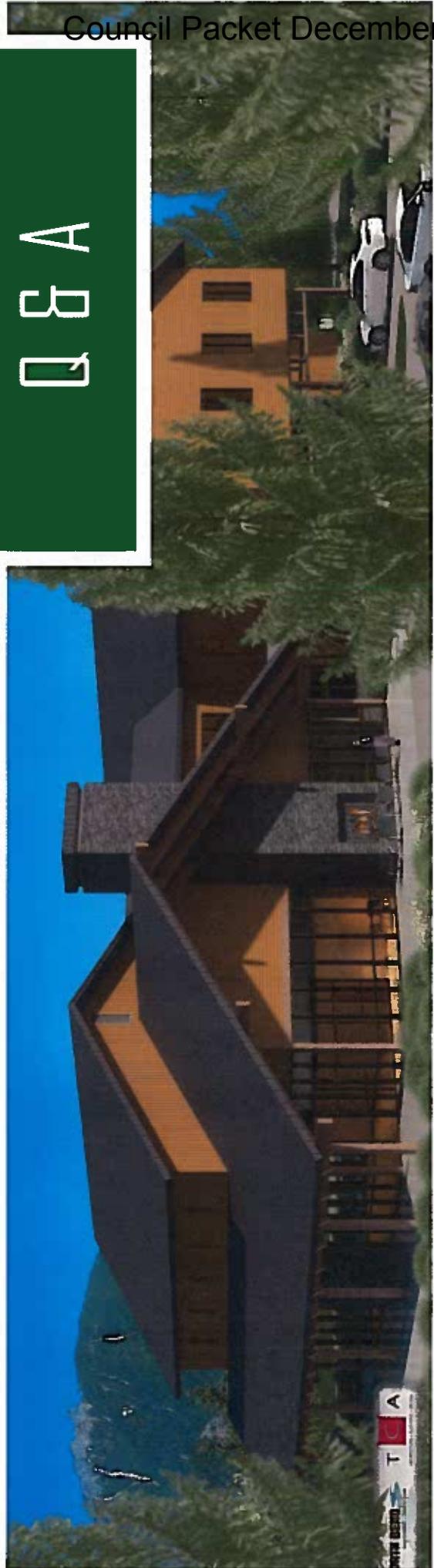


**Your City Hall will tell the story of what makes your
community special.
This will be place of civic pride for a city which is rich
with history and nature.**





Q & A





PUBLIC COMMENT

FROM

OPEN HOUSES

October 25, 2016

November 7, 2016

November 8, 2016

November 9, 2016

TELL US WHAT YOU THINK OF THE CITY HALL DESIGNS

TCA ARCHITECTS

| What I Like | What I DON'T Like | What is Missing |
|--|--|---|
| TCA 1 story seems best | Amphitheater - \$\$ and night time security | Capture rain like Cedar River Watershed + green |
| TCA 1 story theme layout | Offices on exterior and conference in center - switch | Fewer trees and more open spaces |
| Building location in site plan | Amphitheater | Solar Panels |
| Parking arrangement | 1 story looking to NE/not much Southern exposure | Less trees and more open spaces |
| TCA 1 story | Amphitheater | Water feature |
| TCA 1 story | Fire place | Outdoor meeting space |
| TCA 2 story | This is a remote location – now developers in this area can build the fireplaces, amphitheaters – this is not a great time to surround government with luxury features | Unisex bathrooms |
| Amphitheater | Executive Conference room is visibility to main lobby – distractions | Classroom programming space |
| Parking layout | Number of parking spaces | |
| Works with forest nature | | |
| Retains significant trees | | |
| Incorporation of Tanner Trail | | |
| Amphitheater for our Community (Boy/Girl Scouts, Weddings, Theater groups and Christmas tree lighting) | | |
| Amphitheater for Community groups | | |
| Trails on site | | |
| Deck and the ability to open up interior and expand | | |
| Connectivity to trails | | |
| Hidden parking area mask an integrate it into the trees | | |
| Lobby space is great for little meetings | | |
| Site Plan; Floor Plan; Bld Design; Landscaping | Inefficient Parking Wasteful Outdoor Fireplace | Functional Parking |

TELL US WHAT YOU THINK OF THE CITY HALL DESIGNS

LAWHEAD ARCHITECTS

| What I Like | What I DON'T Like | What is Missing |
|---|---|---------------------------------|
| Nice deck facing Mt Si and into lobby space | Site location of building | Solar panels |
| Unisex bathrooms | Fireplace | Yes ! – get panels |
| Better parking layout | Fireplace | Outdoor meeting space |
| Great public spaces | Parking | Unisex – single stall bathrooms |
| Layout of office spaces | Parking lot | More than one conference room |
| ???????? | Site doesn't acknowledge existing forest character | Classroom programming space |
| The more rustic look | 2 story option – could do more with the 2 nd floor | |
| Fireplace | Restroom (public) location nice for council, not good for public. | |
| 1 story | Need space to meet outside of work area | |
| Large windows / fireplaces / public patio | Lobby setup not as good as TCA for little meetings | |
| Amount of parking and 2 outdoor plaza areas | Council chambers staff seating out of view of council | |
| Compatibility design with Fire station | 1 story, please | |
| Parking layout | | |
| Natural area at entrance | | |
| Lots of room to provide emergency services / space for citizens | | |
| Great service counter layout for public and builders | | |
| Authentic to North Bend | | |
| Dollar Amount is "right sized" to North Bend | | |
| Parking Plan makes sense | | |
| Efficient convenient parking concept | Floor Plan; Site Plan, Second Story Concept | |

PUBLIC SPACES THE SITE SHOULD

Use stickers to vote for your top three priorities

Connect to
Tanner Trail along North Bend Way



Retain
Significant trees



Build a citizen's
park connecting City Hall and
the Fire Station



Use green systems
(rain barrels, rain drums,
green roofs, etc.)



Provide public amenities
to encourage gathering
(picnic benches, tables, etc.)



Use native and drought
tolerant landscaping



Have meandering paths and trails



Include wayfinding signs
(trail, distance markers to downtown,
Mt Si, Middle Fork, etc.)



Other

CITY HALL SHOULD

Use stickers to vote for your top three priorities

Be consistent with the City's vision
"Maintain rural character,
natural beauty and small town scale



Provide usable public spaces



Remember our History



Low Impact site design

Be affordable



Connect the government to the community



Reduce operation costs
through efficient design



Create community pride

Other



A Veterans memorial

11/17/16

City of NORTH BEND
CITY HALL

Lawhead Architects PS

| | one story | | two story | |
|--|----------------|------|----------------|------|
| Building | | | | |
| Office Area | 13,000 | gsf | 13,900 | gsf |
| Construction Cost per Square Foot | \$265 | /gsf | \$265 | /gsf |
| Building Estimated Construction Cost | \$3,445,000.00 | | \$3,683,500.00 | |
| | | | | |
| Site | | | | |
| Site Estimated Construction Cost (allowance) | \$1,200,000.00 | | \$1,200,000.00 | |
| | | | | |
| Sub total Building Direct Cost (items below NOT included General Contractor OH & P, Soft Cost, FF & E) | \$4,645,000.00 | | \$4,883,500.00 | |

General Contractor

General Conditions and OH & P (15%)

Soft Cost Includes

Sales Tax:Design fees:Construction Contingency
Building Permit: Legal; Builders Risk Ins.
Special Testing

Exclusions

Toxic soil/Materials Removal:
Special Foundations
Off Site Development: Utility Fee:
Relocation Cost

Notes

FF & E provided by owner (deleted from soft cost)

COST

ONE STORY
12,450 SF

\$4,330,000

1.2 Mill - 1.5 Mill

FUTURE EXPANSION
DEPARTMENTS TOGETHER
LONGER STREET PRESENCE
SITE INTEGRATION

\$5,553,000

\$340,000

SIMILAR

TODAYS DOLLARS
7.5% DESIGN CONT
7.0% CONT OH&P
SITE INVESTIGATIONS
2 SERVICE COUNTERS
INCREASED CIRC
ELEVATOR
2 STAIRS

TWO STORY
13,900 SF

\$4,670,000

1.2 Mill - 1.5 Mill

SECOND STORY VIEW
SEPARATES DEPARTMENTS
LEAST SITE IMPACT
STANDS OUT VERTICALLY

\$5,870,000

EXHIBIT A
A/E FEE SCHEDULE

| MACC | Sch A | Sch B | Sch C | MACC | Sch A | Sch B | Sch C |
|-------------|---|--------|-------|-------------|--------|-------|-------|
| \$100,000 | | | | \$4,100,000 | 10.40% | 8.99% | 7.59% |
| \$200,000 | | | | \$4,200,000 | 10.37% | 8.97% | 7.57% |
| \$300,000 | | | | \$4,300,000 | 10.34% | 8.94% | 7.54% |
| \$400,000 | Basic Services fee amount to be negotiated for projects with a MACC less than \$1,000,000 | | | \$4,400,000 | 10.32% | 8.92% | 7.52% |
| \$500,000 | | | | \$4,500,000 | 10.29% | 8.90% | 7.50% |
| \$600,000 | | | | \$4,600,000 | 10.27% | 8.87% | 7.48% |
| \$700,000 | | | | \$4,700,000 | 10.24% | 8.85% | 7.46% |
| \$800,000 | | | | \$4,800,000 | 10.22% | 8.83% | 7.44% |
| \$900,000 | | | | \$4,900,000 | 10.20% | 8.81% | 7.42% |
| \$1,000,000 | 11.75% | 10.30% | 8.85% | \$5,000,000 | 10.17% | 8.79% | 7.40% |
| \$1,100,000 | 11.67% | 10.22% | 8.77% | \$5,100,000 | 10.15% | 8.77% | 7.38% |
| \$1,200,000 | 11.60% | 10.15% | 8.70% | \$5,200,000 | 10.13% | 8.75% | 7.36% |
| \$1,300,000 | 11.53% | 10.08% | 8.63% | \$5,300,000 | 10.11% | 8.73% | 7.35% |
| \$1,400,000 | 11.46% | 10.01% | 8.56% | \$5,400,000 | 10.09% | 8.71% | 7.33% |
| \$1,500,000 | 11.40% | 9.95% | 8.50% | \$5,500,000 | 10.06% | 8.69% | 7.31% |
| \$1,600,000 | 11.34% | 9.89% | 8.45% | \$5,600,000 | 10.04% | 8.67% | 7.29% |
| \$1,700,000 | 11.29% | 9.84% | 8.39% | \$5,700,000 | 10.02% | 8.65% | 7.28% |
| \$1,800,000 | 11.23% | 9.79% | 8.34% | \$5,800,000 | 10.00% | 8.63% | 7.26% |
| \$1,900,000 | 11.18% | 9.74% | 8.29% | \$5,900,000 | 9.98% | 8.61% | 7.24% |
| \$2,000,000 | 11.13% | 9.69% | 8.25% | \$6,000,000 | 9.96% | 8.60% | 7.23% |
| \$2,100,000 | 11.09% | 9.65% | 8.20% | \$6,100,000 | 9.94% | 8.58% | 7.21% |
| \$2,200,000 | 11.04% | 9.60% | 8.16% | \$6,200,000 | 9.93% | 8.56% | 7.20% |
| \$2,300,000 | 11.00% | 9.56% | 8.12% | \$6,300,000 | 9.91% | 8.54% | 7.18% |
| \$2,400,000 | 10.96% | 9.52% | 8.08% | \$6,400,000 | 9.89% | 8.53% | 7.17% |
| \$2,500,000 | 10.92% | 9.48% | 8.05% | \$6,500,000 | 9.87% | 8.51% | 7.15% |
| \$2,600,000 | 10.88% | 9.44% | 8.01% | \$6,600,000 | 9.85% | 8.49% | 7.14% |
| \$2,700,000 | 10.84% | 9.41% | 7.98% | \$6,700,000 | 9.83% | 8.48% | 7.12% |
| \$2,800,000 | 10.80% | 9.37% | 7.94% | \$6,800,000 | 9.82% | 8.46% | 7.11% |
| \$2,900,000 | 10.76% | 9.34% | 7.91% | \$6,900,000 | 9.80% | 8.45% | 7.09% |
| \$3,000,000 | 10.73% | 9.30% | 7.88% | \$7,000,000 | 9.78% | 8.43% | 7.08% |
| \$3,100,000 | 10.70% | 9.27% | 7.85% | \$7,100,000 | 9.77% | 8.42% | 7.07% |
| \$3,200,000 | 10.66% | 9.24% | 7.82% | \$7,200,000 | 9.75% | 8.40% | 7.05% |
| \$3,300,000 | 10.63% | 9.21% | 7.79% | \$7,300,000 | 9.73% | 8.39% | 7.04% |
| \$3,400,000 | 10.60% | 9.18% | 7.76% | \$7,400,000 | 9.72% | 8.37% | 7.03% |
| \$3,500,000 | 10.57% | 9.15% | 7.74% | \$7,500,000 | 9.70% | 8.36% | 7.01% |
| \$3,600,000 | 10.54% | 9.12% | 7.71% | \$7,600,000 | 9.68% | 8.34% | 7.00% |
| \$3,700,000 | 10.51% | 9.10% | 7.68% | \$7,700,000 | 9.67% | 8.33% | 6.99% |
| \$3,800,000 | 10.48% | 9.07% | 7.66% | \$7,800,000 | 9.65% | 8.31% | 6.97% |
| \$3,900,000 | 10.45% | 9.04% | 7.63% | \$7,900,000 | 9.64% | 8.30% | 6.96% |
| \$4,000,000 | 10.42% | 9.02% | 7.61% | \$8,000,000 | 9.62% | 8.29% | 6.95% |

A/E Fee Schedule - Building Types

| <u>Schedule A</u> | <u>Schedule B</u> | <u>Schedule C</u> |
|--|--|--|
| <p>Facilities with more than average design difficulty:</p> <p>Art galleries Auditoriums (with stage) Communications buildings Courthouses Detention/correctional facilities, maximum Exposition buildings Extended care facilities Fish hatcheries Heating and power plants Hospitals Laboratories (research) Medical office facilities and clinics Mental institutions Museums Observatories Research facilities Sewer treatment plants Special schools Theaters and similar facilities Veterinary hospitals Water treatment plants</p> | <p>Facilities with average difficulty:</p> <p>Apartment buildings Archive building Armories Auditoriums (without stage) College classroom facilities Computer rooms Convention facilities Day care families Detention/correctional facilities, minimum and medium Dining halls/institutes Dormitories Fire and police stations Gymnasiums Laundry and cleaning facilities Libraries Neighborhood centers and similar recreation facilities Nursing homes Office buildings Recreational building Residences Schools (primary and secondary) Science labs (teaching) Stadiums, multi-purpose Storage facilities, cold Transportation terminals Vocational schools</p> | <p>Projects with less than average design difficulty:</p> <p>Civil and utility projects Emergency generator facilities Farm structures Greenhouses Guard towers Industrial buildings without special facilities Parking structures and garages Printing plants Prototype facilities (for any replication of previously designed facility) Service garages Shop and maintenance facilities Simple loft-type structures (without special equipment) Stadiums, grandstand type Warehouses</p> |

RESOLUTION 1742

A RESOLUTION OF THE CITY OF NORTH BEND, WASHINGTON, SELECTING THE MUNICIPAL CAMPUS SITE LOCATED AT 1155 EAST NORTH BEND WAY, NORTH BEND, WASHINGTON, AS THE PREFERRED LOCATION FOR A NEW CITY HALL

WHEREAS, in determining whether or not to locate a new city hall on certain real property currently improved by an existing public works administration building and shop and by a fire station, it is important to review the history of why this property was originally purchased and the history of each of these improvements to the site; and

WHEREAS, the City of North Bend contracted with Mithun, a Seattle architectural firm, to conduct a number of public meetings and workshops in 1992, 1993 and 1994 to ascertain citizen and Council preference and vision regarding the preferred location for a municipal campus for a city hall, police station, fire station and public works facilities; and

WHEREAS, Mithun then conducted an extensive search of all available properties within the City to locate a "Municipal Campus Site" which would be centrally located for the citizens, outside of the floodplain to facilitate emergency response, provide sufficient property for expansion and be affordable; and

WHEREAS, by the Municipal Campus Site Evaluation and Design Report dated December 7, 1993 and Municipal Facilities Site Analysis dated November 1994 prepared by Mithun (collectively, the Mithun Reports), a preferred site was identified comprised of approximately 9.42 acres located between North Bend Way and Cedar Falls Way immediately east of Maloney Grove Ave. (the "Municipal Complex Site"); and

WHEREAS, Mithun recommended the City consider the following features in connection with construction of a city hall on the Municipal Complex Site:

- City hall should have a strong physical connection to the central business district along North Bend Way with pedestrian orientation;
- Design major car access off SE Cedar Falls; and
- Create a park like "Village Green" which is a traditional feature of many small town city halls.

WHEREAS, the advantages of the Municipal Campus Site were described in the Mithun Reports as:

- Central location within service area;
- Compliance with EMS established response times;
- Access to two major east-west roadways;
- Room for future expansion;
- Minimum site development cost;

- No flooding;
- Within current city limits; and
- Ten inch water main adjacent to property (Note: ULID #6 has now extended sewer to property within North Bend Way also).

WHEREAS, by Real Estate Purchase and Sale Agreement dated March 19, 1992, between the City of North Bend as Buyer and North Bend Auto Parts, Inc, executed by Frank Padavich as Seller, recorded June 6, 1992 in the Office of King County Records, North Bend purchased the Municipal Complex Site for a purchase price of \$475,000 with final payment being made on or about November 1, 2010; and

WHEREAS, at the August 17, 1999 regular North Bend City Council meeting, Council approved awarding the design of the Public Works administration building and shop (Public Works Buildings) to Lawhead Architects in the amount of \$173,028, which was later amended to increase this design contract by \$24,245 on May 15, 2001 by Resolution No. 804, for a total of \$197,273 for design services; and

WHEREAS, by Resolution No. 803, the City Council awarded the lowest qualified bid to Premium Construction for construction of the Public Works Buildings. The total cost (including all hard construction and soft design and other costs) for building the Public Works Buildings was \$3,381,220; and

WHEREAS, on April 19, 2011, the North Bend City Council approved awarding a design contract to TCA Architects to design the Fire Station for the Municipal Campus Site in the amount of \$436,040, which was later increased by change orders in the amount of \$58,627.56 which exceeded the original base contract for a total of \$494,667.56 for design services; and

WHEREAS, at the June 5, 2012, the North Bend City Council awarded a construction contract to Kirtley-Cole Associates, LLC for a new Fire Station on the Municipal Campus Site. Total soft and hard construction costs for the Fire Station when completed was \$5,187,325 and these costs were shared between the City of North Bend and Fire District #38 who the City owns the Fire Station with as tenants in common; and

WHEREAS, at a June 24, 2013 Special City Council Workstudy, a Town Hall meeting was advertised and held to gather public input regarding the preferred location of a civic center. Approximately 68 people attended and the preferred location of a civic center to include a performing arts center was in the historic downtown in order to revitalize some vacant and derelict buildings; and

WHEREAS, Council awarded a contract to Beckwith Consulting on October 7, 2014 to conduct a needs assessment for the civic center in the preferred historic downtown location and the estimated cost to construct a civic center was \$9.8 million without the costs associated with architectural and engineering (soft costs), property acquisition and litigation associated with condemnation; and

WHEREAS, financial estimates to construct a civic center within the historic downtown site including construction costs, soft costs, legal costs, condemnation costs were estimated to be in excess of \$15 million dollars; and

WHEREAS, in 2014 Council adopted Financial Priorities of Government for purposes of allocating limited taxpayer resources in the following order:

1. Public safety;
2. Maintain basic infrastructure (water, sewer, streets, etc.)
3. All remaining governmental services (e.g. parks, municipal buildings, etc.)

WHEREAS, there are many general governmental needs competing for limited tax revenues and Council has determined it is necessary to reduce the scope of the civic center to a city hall and address the most pressing needs of providing a safe working environment for city staff in one location so citizens can conduct business conveniently; and

WHEREAS, on August 16, 2016, the City Council approved First Amendments to Professional Services Agreements with Lawhead Architects and TCA Architects who were retained to prepare schematic designs of a city hall on the Municipal Campus Site for the City Council's review and consideration; and

WHEREAS, on October 25, 2016, a public open house and a regular City Council Meeting was conducted and the architects each presented their various designs were presented to the public and Council which included possible site plans, floor plans and elevations of a city hall; and

WHEREAS, there were additional opportunities for the public to provide comments on the architectural designs during the first two weeks of November 2016 while the architectural exhibits were displayed at City Hall and during another public open house on November 8, 2016;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, DOES HEREBY RESOLVE AS FOLLOWS:

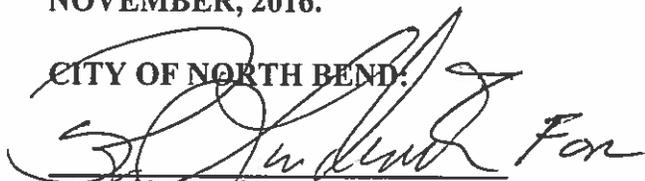
Section 1. Preferred Location for City Hall. The preferred location for the North Bend City Hall is on the Municipal Campus Site for the following reasons:

- The City owns the property without any debt;
- A more affordable city hall can be constructed in this location allowing for the use of other tax revenues for higher priority city services such as public safety and maintaining basic government infrastructure;
- The property was purchased for this intended purpose;
- The property is located outside of the flood plain;
- There is access to two major east-west roadways for ingress and egress to facilitate emergency response of police vehicles. The City's police contract employees will use city hall as a police substation;
- There are no "property rights" issues associated with this location which exist whenever a property must be condemned for public use and necessity;

- The property is centrally located within the City of North Bend providing ease of access fairly to all citizens;
- The portion of the property title which remains solely in North Bend's control is approximately 5 acres and this provides significant room for future expansion, if necessary. The planned approximately 10,000 to 12,000 square foot city hall is planned to accommodate any expected growth for the next 20 years;
- The site is flat and already developed with entrances off both North Bend Way and Cedar Falls Way for the Public Works Building so there will be reduced site development costs as compared to condemning and then demolishing historic buildings with possible hazardous materials;
- Utilities are readily available. There is a 10' water main in the street serving the Public Works Building. ULID #6 sewer main is in NBW which the city hall would connect too. Two storm drainage ponds are available to be expanded at either the Public Works Building or Fire Station;
- Construction of city hall in this location will allow improvement of the Tanner Bike Trail along the Municipal Campus Site and completion of a plaza to incorporate the City's Brand Statement of "We are the small town that is creating the premiere outdoor adventure destination in the Puget Sound region";
- Although this location is not located within the boundaries of historic downtown, in the next 20 years, this location will be part of North Bend's Downtown and the design will encourage a strong physical connection and orientation to the central business district along North Bend Way with pedestrian orientation; and
- This property will allow city hall to be oriented to take advantage of views of Mt Si consistent with Council's direction that new construction should be situated on properties and oriented to take advantage of our spectacular views consistent with our citizen's vision statement of wanting to highlight North Bend's "natural beauty".

PASSED BY THE CITY COUNCIL OF THE CITY OF NORTH BEND, WASHINGTON, AT A REGULAR MEETING THEREOF, THIS 15TH DAY OF NOVEMBER, 2016.

CITY OF NORTH BEND:


Kenneth G. Hearing, Mayor

APPROVED AS TO FORM:


Michael R. Kenyon, City Attorney

ATTEST/AUTHENTICATED:


Susie Oppedal, City Clerk

Effective: November 15, 2016

Posted: November 16, 2016